

Color Scheme Revisions
PD - S - 939 / 940 / 941
D.R. Horton, Inc.

GARAGE DOOR COLOR
REVISIONS



Original Revised
Scheme A-33
The Highlands



Original Revised
Scheme A-313
The Highlands



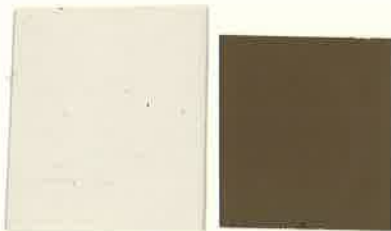
Original Revised
Scheme A-22
Walnut Grove



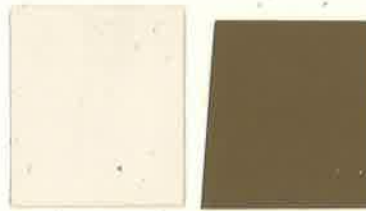
Original Revised
Scheme A-23
Walnut Grove



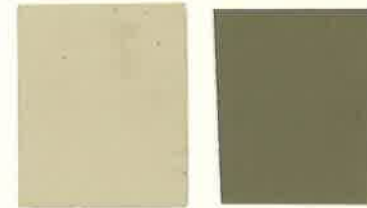
Original Revised
Scheme B-37
The Highlands



Original Revised
Scheme B-38
The Highlands



Original Revised
Scheme B-7 a&b
Plum Creek



Original Revised
Scheme B-8
Plum Creek



Original Revised
Scheme B-27
Walnut Grove



Original Revised
Scheme B-28
Walnut Grove

APPROVED
City of Simi Valley - Zoning Dept. 100E
Date: 7/29/04
By: [Signature]

Color Scheme Revisions
PD - S - 939 / 940 / 941
D.R. Horton, Inc.

Scheme A-33 The Highlands	<i>Original</i> Wild Country (Frazee 8735D) <i>Revised</i> No Name (Custom - Match CZ 17516)	Scheme B-38 The Highlands	<i>Original</i> Baby's Breath (Frazee 5380) <i>Revised</i> Wild Country (Frazee 8735D)
Scheme A-313 The Highlands	<i>Original</i> Cowboy (Frazee 5735D) <i>Revised</i> Western Reserve (Custom - Match to SW 2052)	Scheme B-7 a&b Plum Creek	<i>Original</i> Sweetwood (ICI 365) <i>Revised</i> Chenille (Custom - Match SW 110)
Scheme A-22 Walnut Grove	<i>Original</i> Moose Pointe (Frazee 8715D) <i>Revised</i> Estate Tan (Custom - Match to SW 2039)	Scheme B-8 Plum Creek	<i>Original</i> Backpack (Frazee 8644D) <i>Revised</i> No Name (Custom - Match CZ 1750)
Scheme A-23 Walnut Grove	<i>Original</i> Onion Skin (ICI 412) <i>Revised</i> No Name (Custom - Match ACD19)	Scheme B-27 Walnut Grove	<i>Original</i> Stone Quarry (ICI 584) <i>Revised</i> Tequila (Custom - Match to Frazee 8735D)
Scheme B-37 The Highlands	<i>Original</i> Stone Quarry (ICI 584) <i>Revised</i> No Name (Custom - Match to OQ 106)	Scheme B-28 Walnut Grove	<i>Original</i> Baby's Breath (Frazee 5380) <i>Revised</i> Wild Country (Frazee 8735D)

APPROVED
 City of Simi Valley - Zoning Administrator
 Date: 7/22/04
 By: PD-S-939A03-1

PROPOSED EXHIBITS

WILLIAM HEZVALHACH
A.R.C. THE SOURCE
20000 THE SOURCE DRIVE
MIRAMONTE, CA 91302
TEL: 626-256-1234
WWW.ARC-THE-SOURCE.COM



TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits B1

PLUM CREEK SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

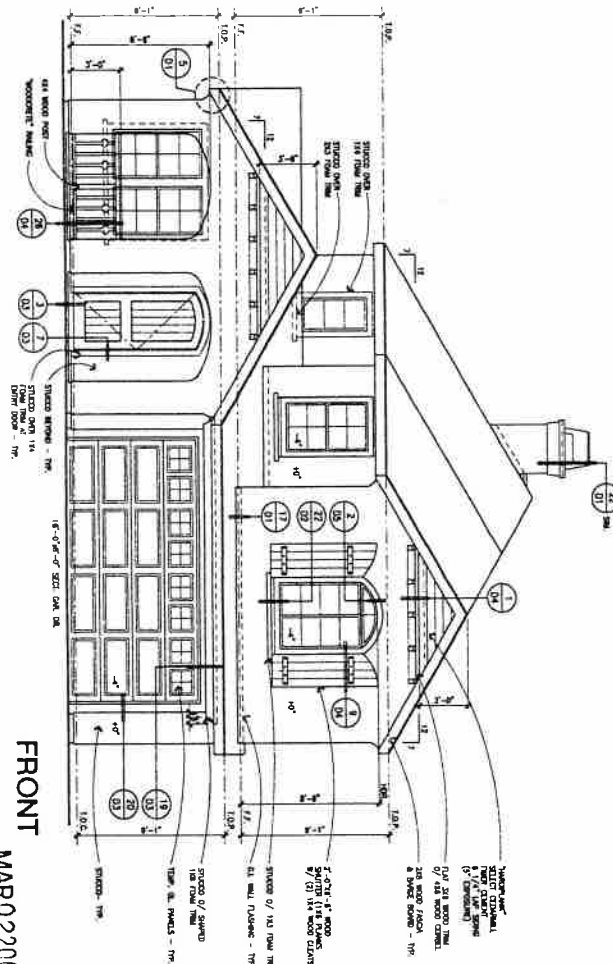
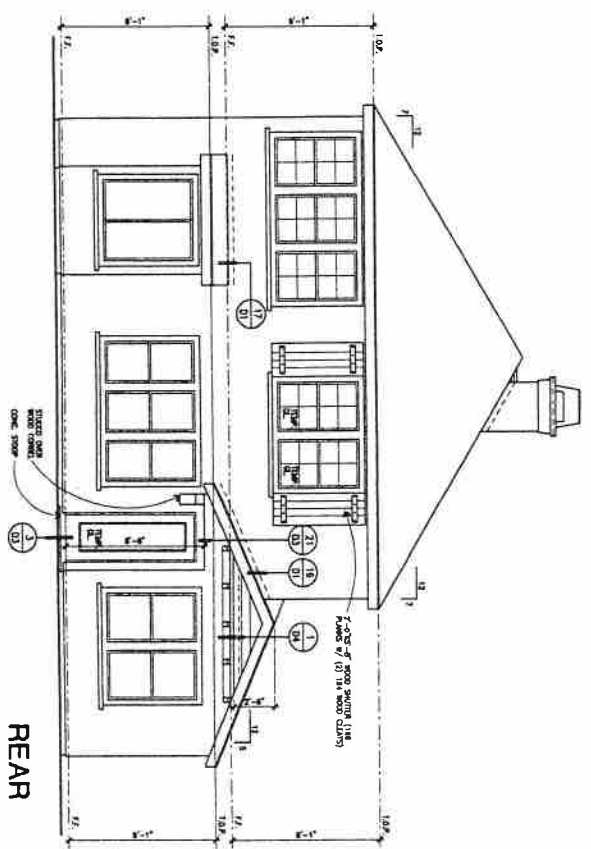
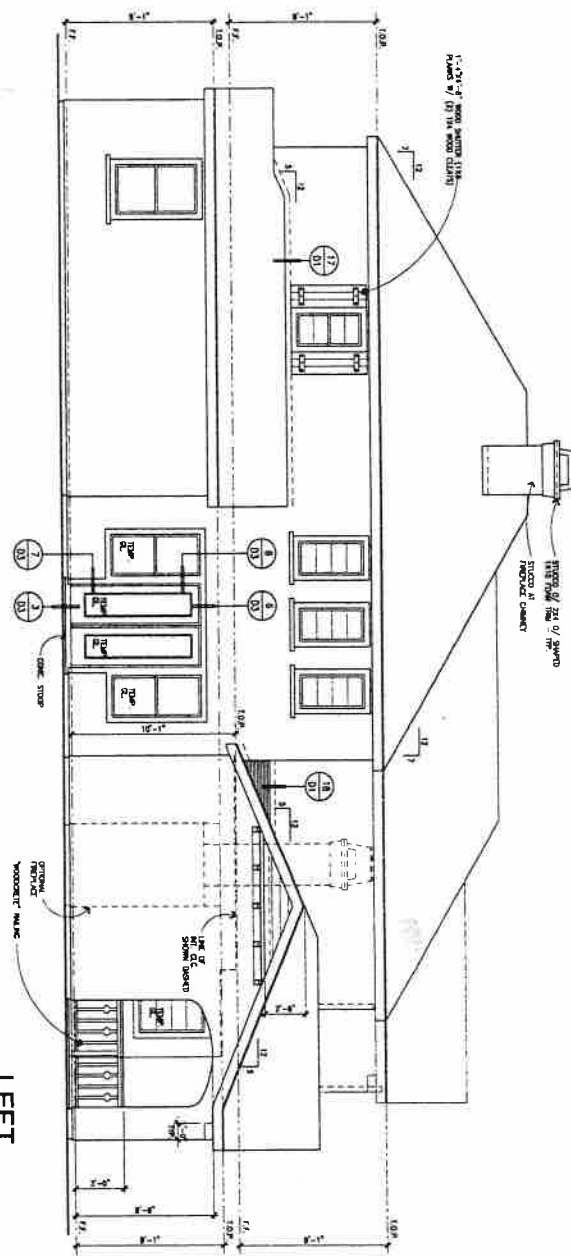
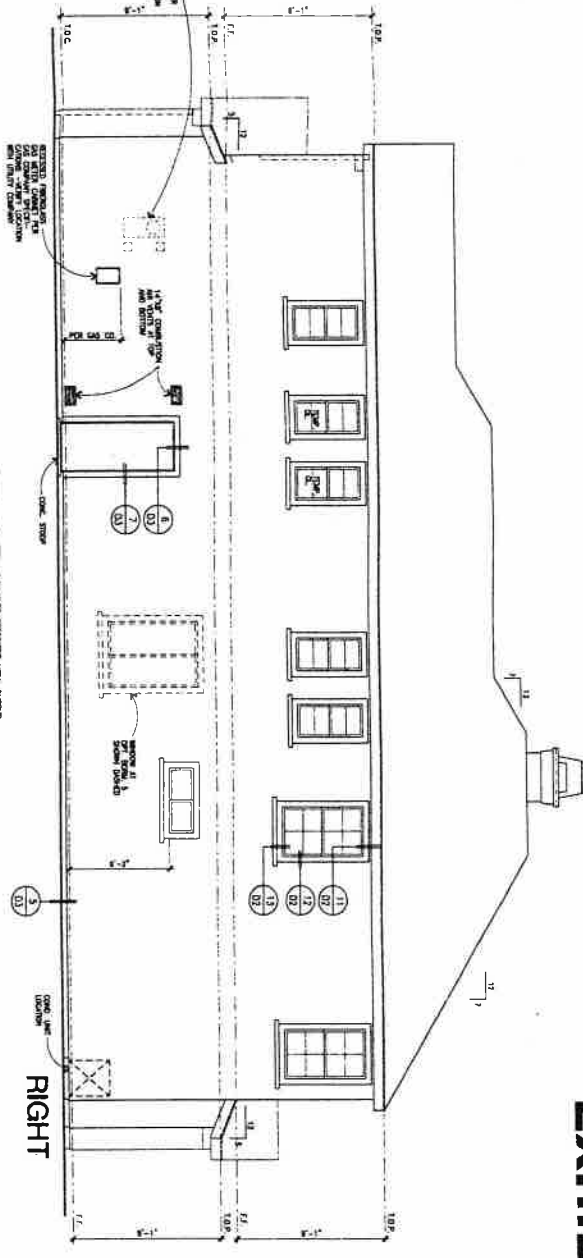
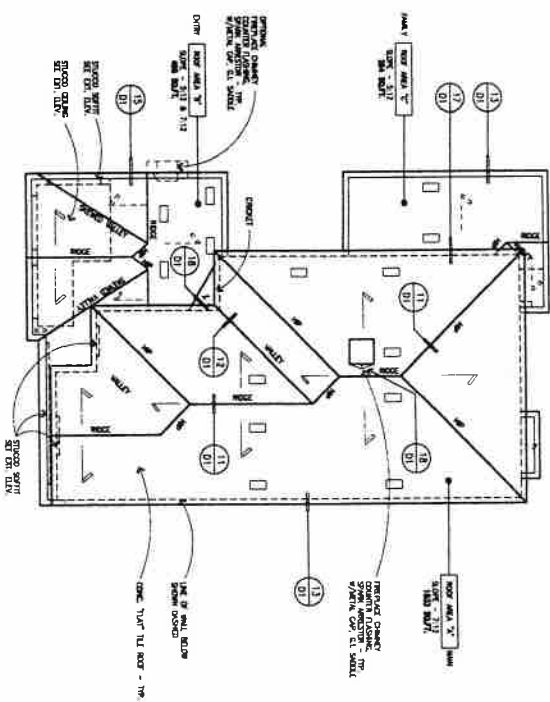
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NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION
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PLAN 1A - FRENCH COUNTRY
MAR022004
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS - PLAN 1A - FRENCH COUNTRY



APPROVED
By: [Signature]
Date: 2/13/04
City of Simi Valley
Zoning Administrator

WILLIAM HEZMAHALCH
 ARCHITECT
 200 GARDEN STREET, SUITE 200
 SIMI VALLEY, CALIFORNIA 91357
 TEL: (760) 709-0178
 FAX: (760) 709-0179
 WWW.WHARCHITECT.COM



TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Plum Creek
 Exhibits F1

PLUM CREEK
 SIMI VALLEY, CALIFORNIA
 D.R. HORTON
 VALENCIA, CALIFORNIA

REVISIONS

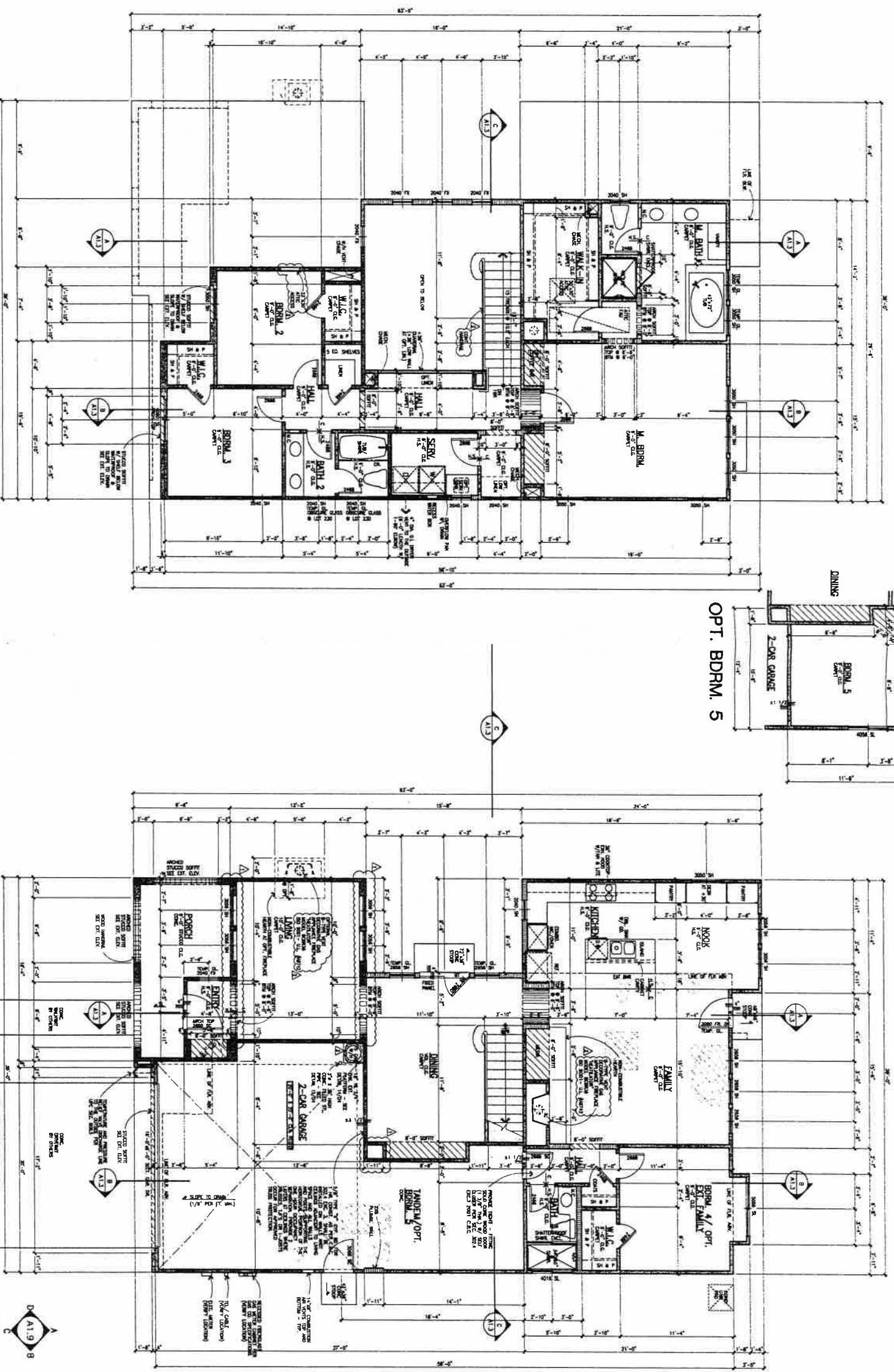
NO.	DATE	DESCRIPTION
1	5-23-03	CLIENT REVISIONS
2	1-12-04	R. D. CONNECTIONS

REVISIONS

NO.	DATE	DESCRIPTION
1	5-23-03	CLIENT REVISIONS
2	1-12-04	R. D. CONNECTIONS

PROJECT NUMBER: 1.8
 SHEETS: 4.8
 DRAWING BY: J.B.
 DATE: 2-27-04
 SHEET: A1.1

PLAN 1A - FRENCH COUNTRY



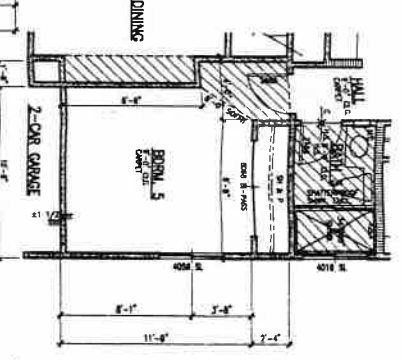
FLOOR PLAN NOTES

1. AREA ACCESS, OVERLAYS AND CONNECTIONS FOR C.A.C. SECTION 1000.
2. AREA ACCESS, OVERLAYS AND CONNECTIONS FOR C.A.C. SECTION 1000.
3. AREA ACCESS, OVERLAYS AND CONNECTIONS FOR C.A.C. SECTION 1000.
4. AREA ACCESS, OVERLAYS AND CONNECTIONS FOR C.A.C. SECTION 1000.
5. CONNECTIONS TO BE PROVIDED BY USER FOR C.A.C. CHANGES.

UPPER FLOOR PLAN

LOWER FLOOR PLAN

OPT. BDRM. 5



SQUARE FOOTAGE TABLE

AREA	AREA	AREA
UPPER FLOOR PLAN	1,440	50.71
LOWER FLOOR PLAN	1,214	50.71
TOTAL	2,654	101.42
POOR	841	30.71
NET	1,813	60.71

MAR 02 2004
 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS - PLAN 1C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

PLAN 1C - CRAFTSMAN

NO.	DATE	DESCRIPTION
1	3-23-04	ISSUE FOR PERMITTING
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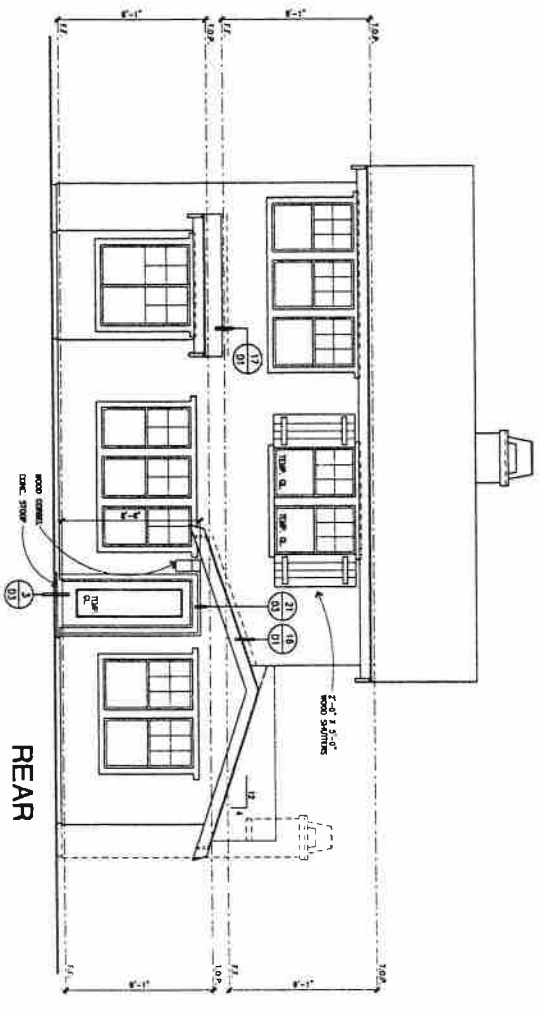
PLUM CREEK
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

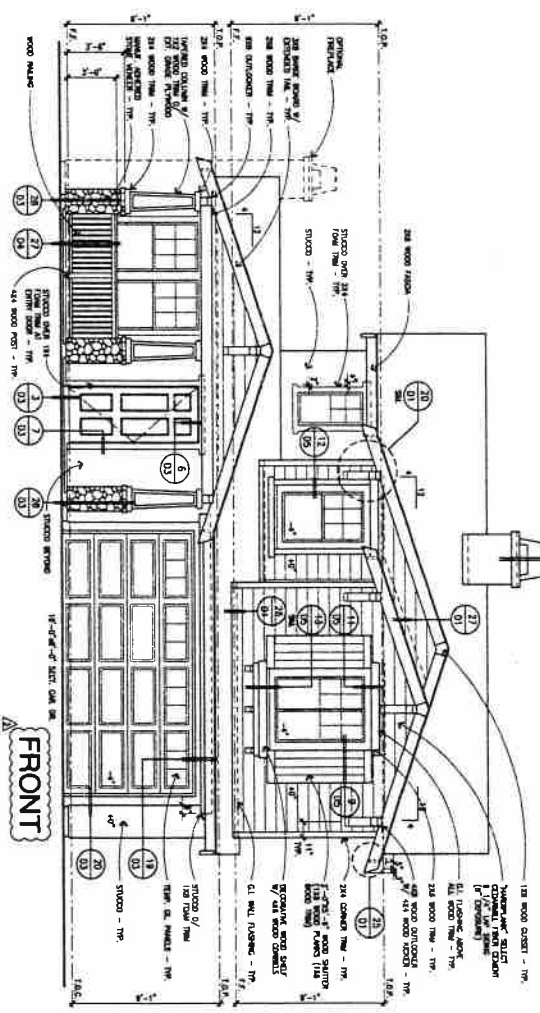
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits B3

TRACT #5182
S.F.D.

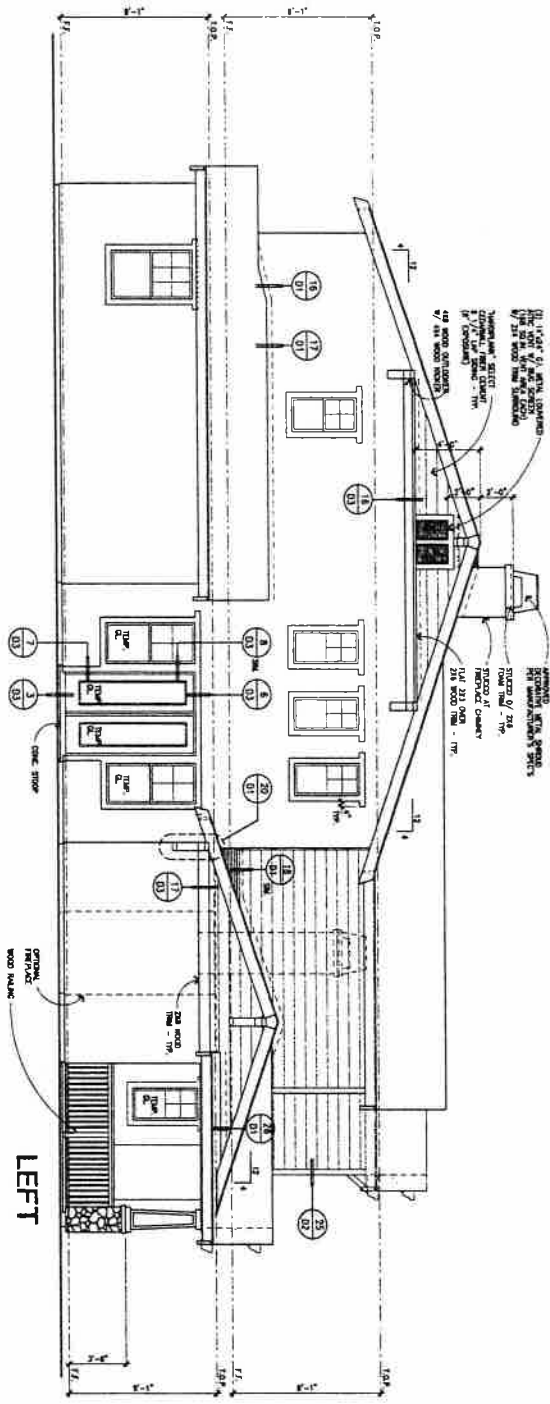
WILLIAM HEZMALNACH
ARCHITECTS INC.
28200 HUNTER STREET, SUITE 200, SIMI VALLEY, CA 91381
TEL: 760/317-1100 FAX: 760/317-1105



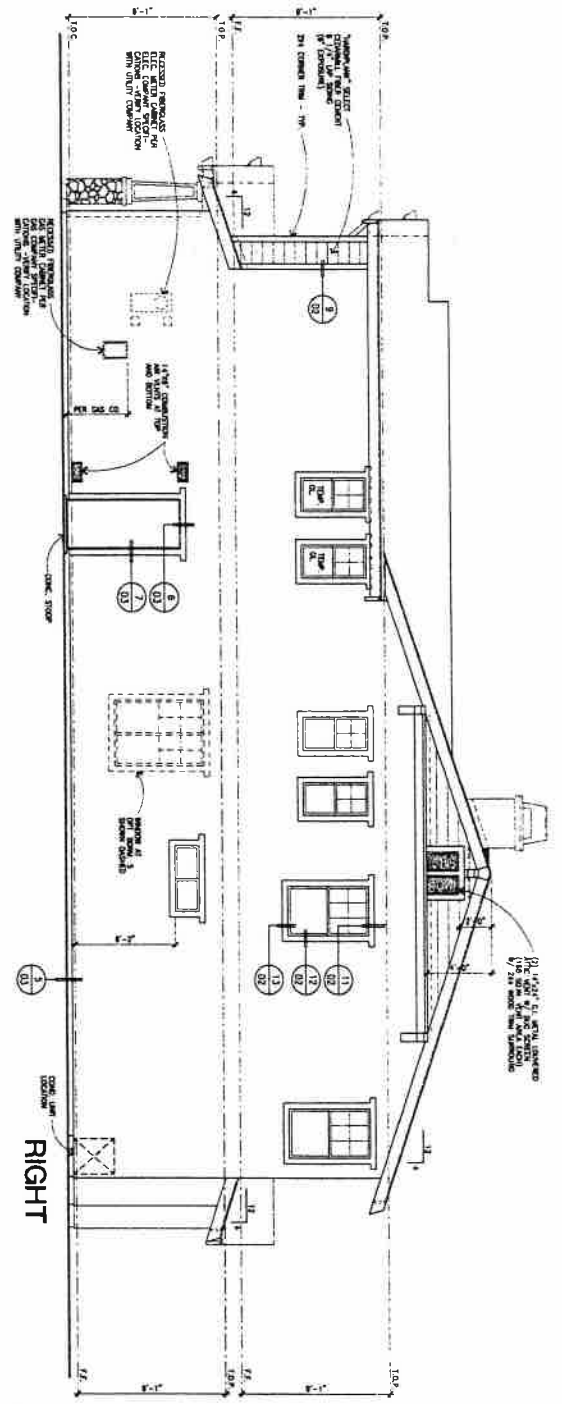
REAR



FRONT



LEFT



RIGHT

ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF PLAN LEGEND

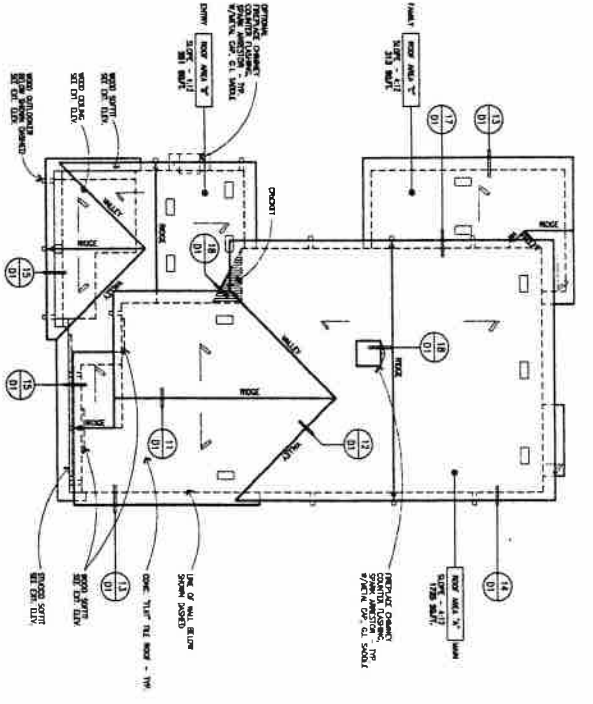
1. SEE ELEVATIONS FOR ROOF FINISHES

2. ROOF FINISHES SHALL BE SPECIFIED AS FOLLOWS:

3. ROOF FINISHES SHALL BE SPECIFIED AS FOLLOWS:

4. ROOF FINISHES SHALL BE SPECIFIED AS FOLLOWS:

AREA	FINISH	THICKNESS
ROOF AREA 1	WOOD SHAKES	1/2"
ROOF AREA 2	WOOD SHAKES	1/2"
ROOF AREA 3	WOOD SHAKES	1/2"
ROOF AREA 4	WOOD SHAKES	1/2"
ROOF AREA 5	WOOD SHAKES	1/2"
ROOF AREA 6	WOOD SHAKES	1/2"
ROOF AREA 7	WOOD SHAKES	1/2"
ROOF AREA 8	WOOD SHAKES	1/2"
ROOF AREA 9	WOOD SHAKES	1/2"
ROOF AREA 10	WOOD SHAKES	1/2"
ROOF AREA 11	WOOD SHAKES	1/2"
ROOF AREA 12	WOOD SHAKES	1/2"
ROOF AREA 13	WOOD SHAKES	1/2"
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ROOF AREA 96	WOOD SHAKES	1/2"
ROOF AREA 97	WOOD SHAKES	1/2"
ROOF AREA 98	WOOD SHAKES	1/2"
ROOF AREA 99	WOOD SHAKES	1/2"
ROOF AREA 100	WOOD SHAKES	1/2"



WILLIAM HEZMAHALCH
 ARCHITECTS INC.
 2400 RAYBURN AVENUE, SUITE 200
 SIMI VALLEY, CALIFORNIA 91381
 TEL: (805) 709-8800
 FAX: (805) 709-8801
 WWW.WHARCHITECTS.COM



TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Plum Creek
 Exhibits F2

PLUM CREEK
 SIMI VALLEY, CALIFORNIA
 D.R. HORTON
 VALENCIA, CALIFORNIA

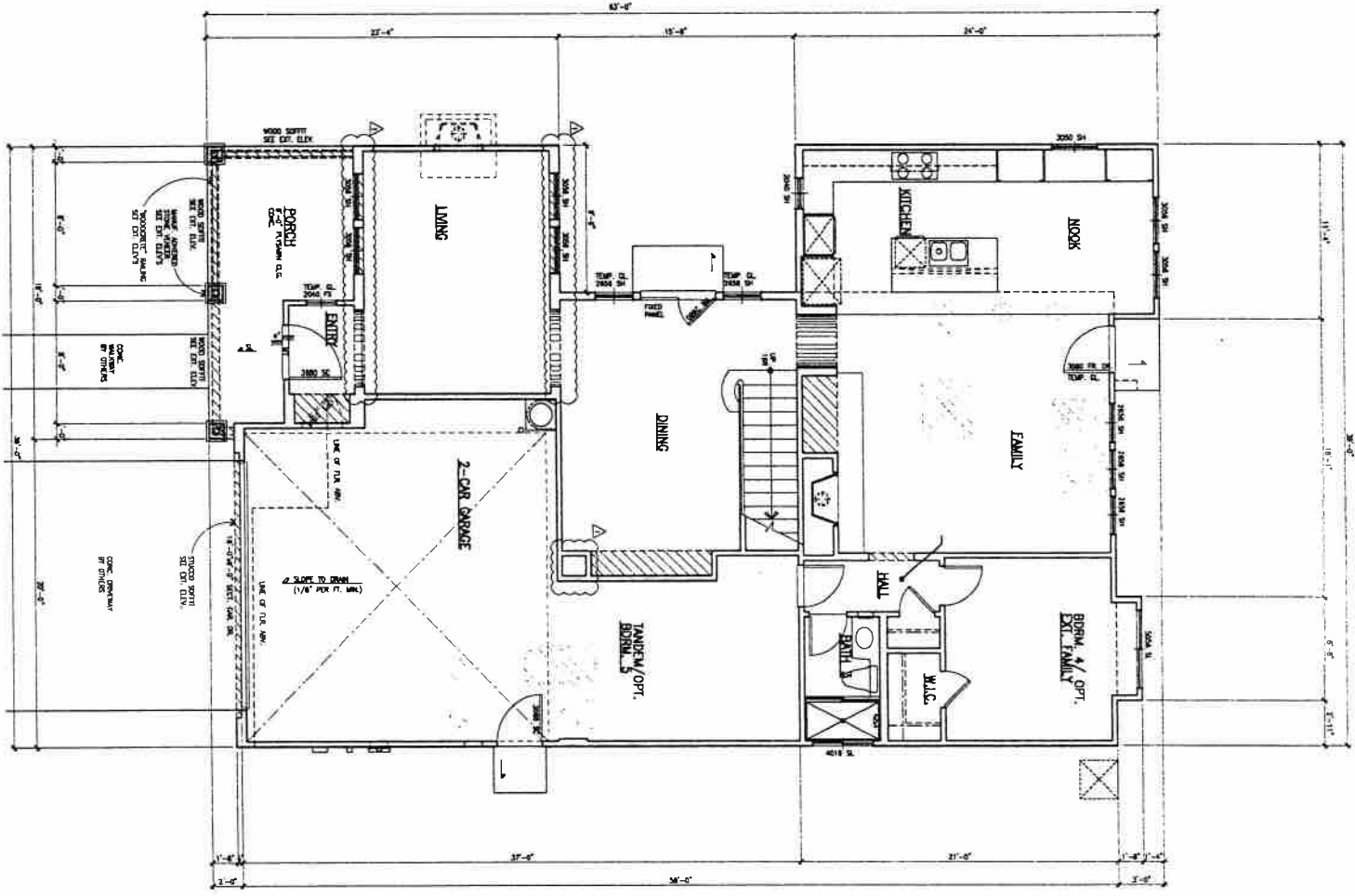
REVISIONS

NO.	DATE	DESCRIPTION
1	5-23-03	CLIENT REVISIONS
2	5-22-04	CLIENT REV. - "CRAFTSMAN"

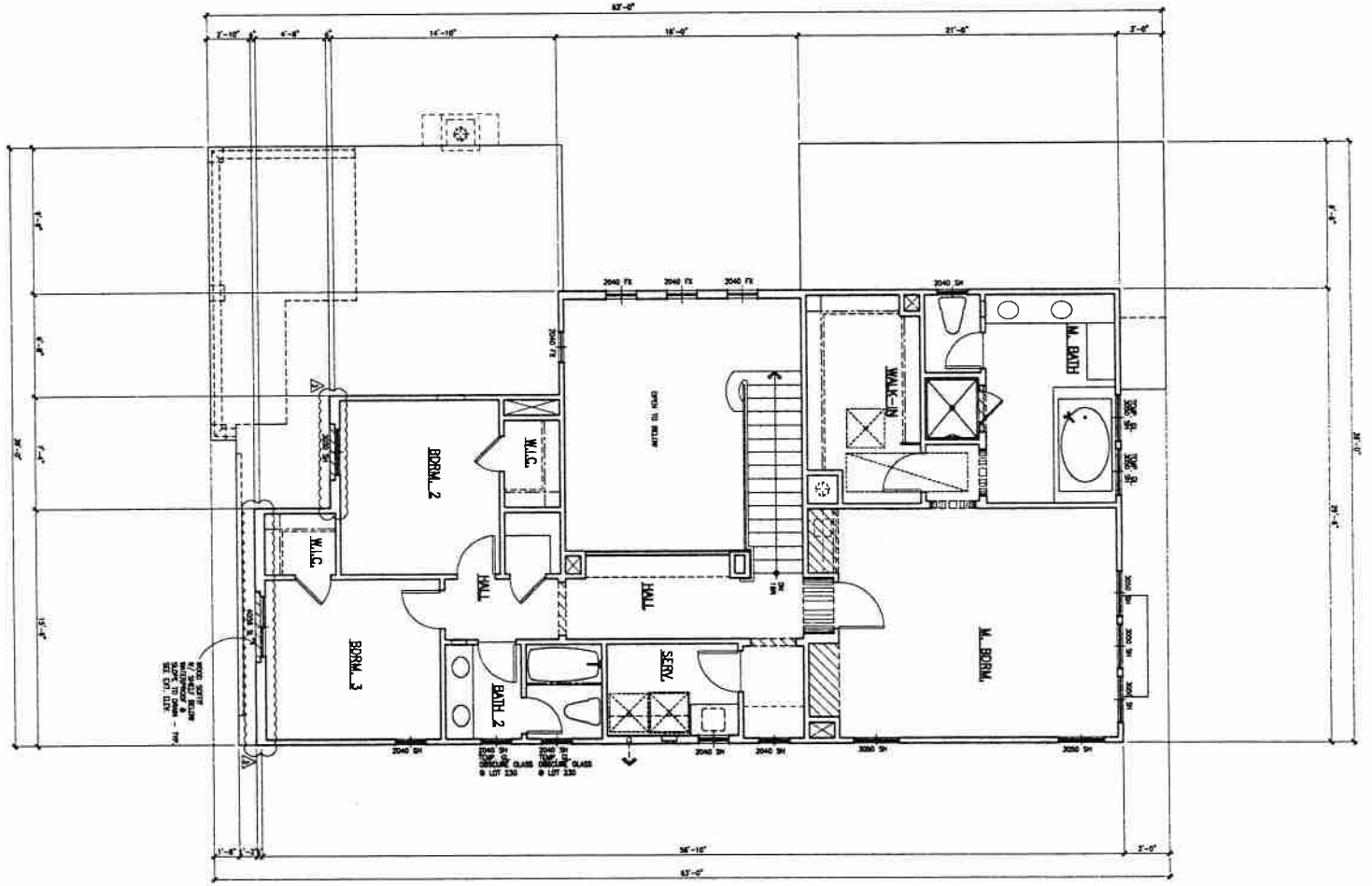
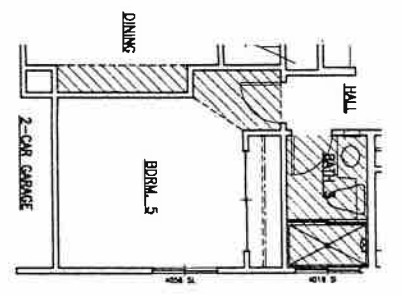
PROJECT SUMMARY

PROJECT NUMBER	J.E.
REVISION	A.1.5
DRAWN BY	J.E.
DATE	4-29-04
SCALE	1/4" = 1'-0"
DATE	4-29-04
SHEET	A1.5

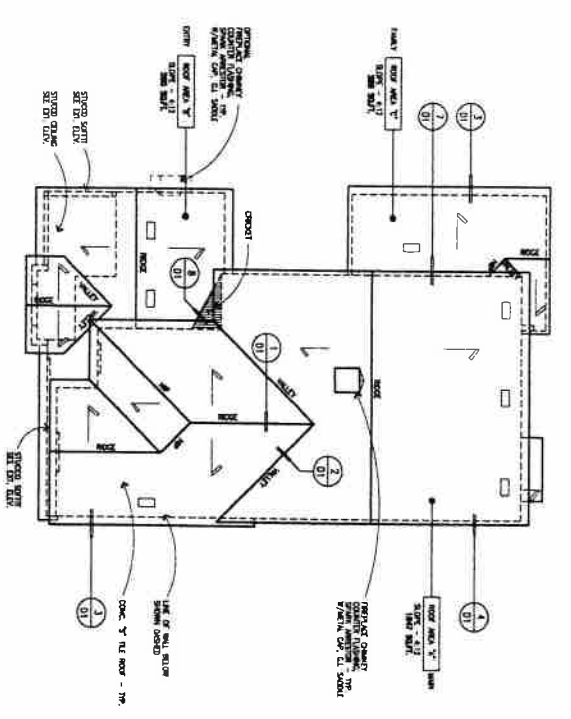
PLAN 1C - CRAFTSMAN



LOWER FLOOR PLAN



ADDENDA FLOOR PLANS - PLAN 1C - CRAFTSMAN

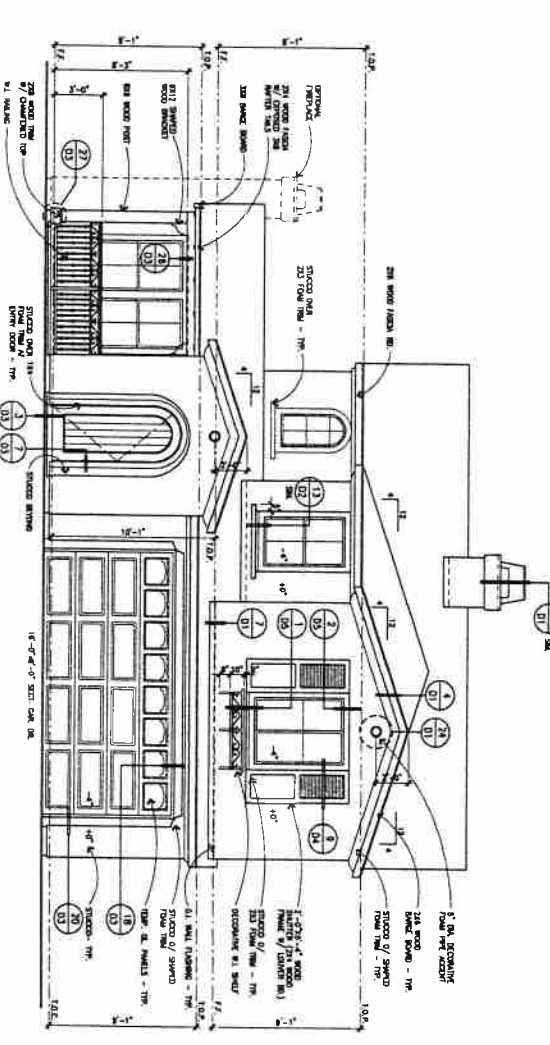
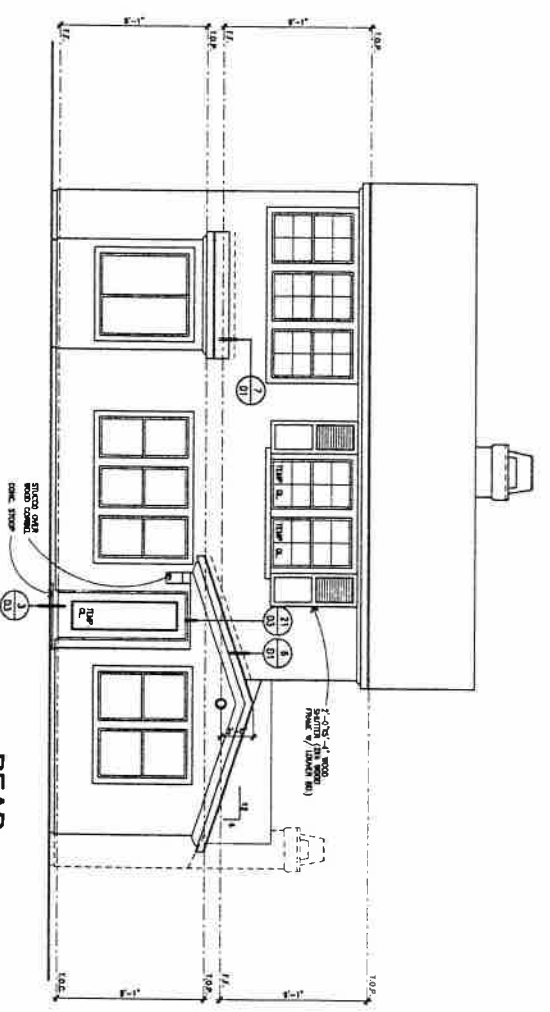
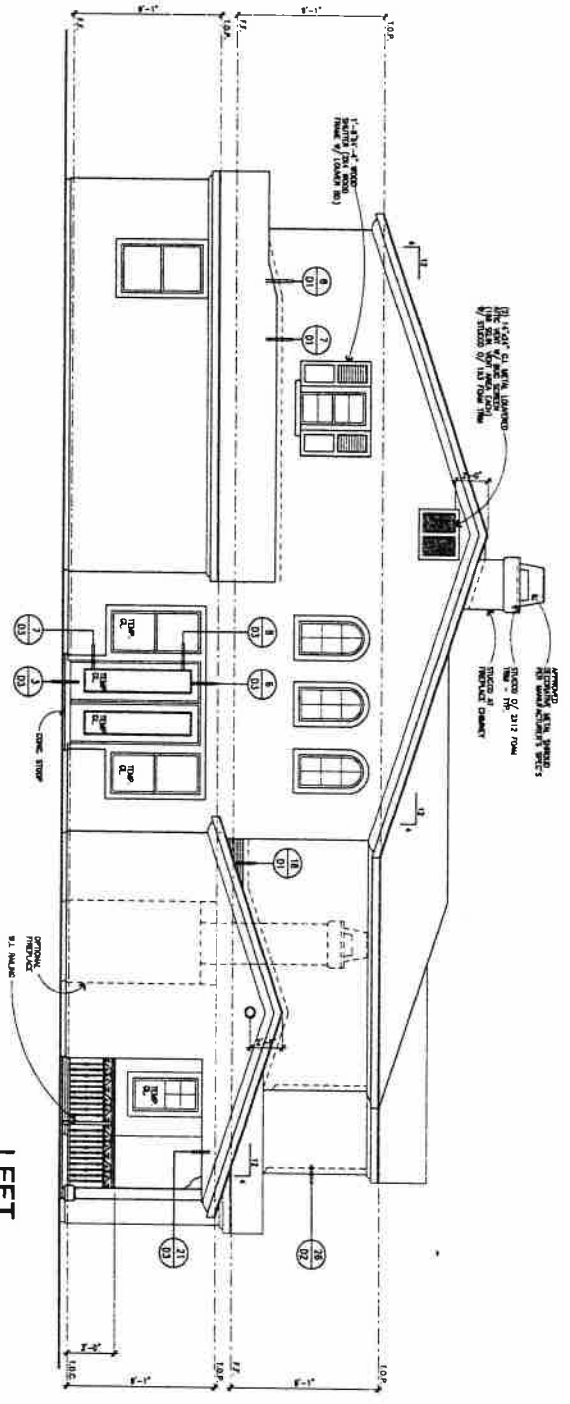
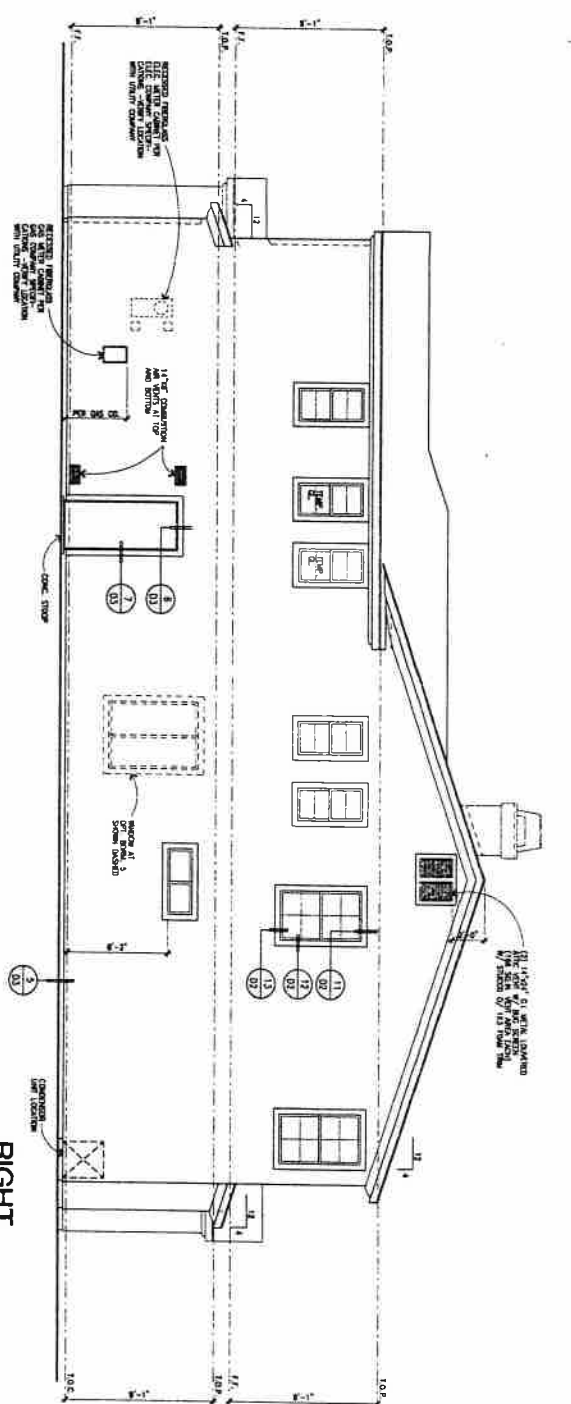


ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF MATERIALS:

AREA	ROOF AREA (SQ. FT.)	ROOF MATERIAL
ROOF AREA 1	1,000	Asph/Flt Shingles
ROOF AREA 2	1,500	Asph/Flt Shingles
ROOF AREA 3	2,000	Asph/Flt Shingles
ROOF AREA 4	2,500	Asph/Flt Shingles
ROOF AREA 5	3,000	Asph/Flt Shingles
ROOF AREA 6	3,500	Asph/Flt Shingles
ROOF AREA 7	4,000	Asph/Flt Shingles
ROOF AREA 8	4,500	Asph/Flt Shingles
ROOF AREA 9	5,000	Asph/Flt Shingles
ROOF AREA 10	5,500	Asph/Flt Shingles
ROOF AREA 11	6,000	Asph/Flt Shingles
ROOF AREA 12	6,500	Asph/Flt Shingles
ROOF AREA 13	7,000	Asph/Flt Shingles
ROOF AREA 14	7,500	Asph/Flt Shingles
ROOF AREA 15	8,000	Asph/Flt Shingles
ROOF AREA 16	8,500	Asph/Flt Shingles
ROOF AREA 17	9,000	Asph/Flt Shingles
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ROOF AREA 42	21,500	Asph/Flt Shingles
ROOF AREA 43	22,000	Asph/Flt Shingles
ROOF AREA 44	22,500	Asph/Flt Shingles
ROOF AREA 45	23,000	Asph/Flt Shingles
ROOF AREA 46	23,500	Asph/Flt Shingles
ROOF AREA 47	24,000	Asph/Flt Shingles
ROOF AREA 48	24,500	Asph/Flt Shingles
ROOF AREA 49	25,000	Asph/Flt Shingles
ROOF AREA 50	25,500	Asph/Flt Shingles
ROOF AREA 51	26,000	Asph/Flt Shingles
ROOF AREA 52	26,500	Asph/Flt Shingles
ROOF AREA 53	27,000	Asph/Flt Shingles
ROOF AREA 54	27,500	Asph/Flt Shingles
ROOF AREA 55	28,000	Asph/Flt Shingles
ROOF AREA 56	28,500	Asph/Flt Shingles
ROOF AREA 57	29,000	Asph/Flt Shingles
ROOF AREA 58	29,500	Asph/Flt Shingles
ROOF AREA 59	30,000	Asph/Flt Shingles
ROOF AREA 60	30,500	Asph/Flt Shingles
ROOF AREA 61	31,000	Asph/Flt Shingles
ROOF AREA 62	31,500	Asph/Flt Shingles
ROOF AREA 63	32,000	Asph/Flt Shingles
ROOF AREA 64	32,500	Asph/Flt Shingles
ROOF AREA 65	33,000	Asph/Flt Shingles
ROOF AREA 66	33,500	Asph/Flt Shingles
ROOF AREA 67	34,000	Asph/Flt Shingles
ROOF AREA 68	34,500	Asph/Flt Shingles
ROOF AREA 69	35,000	Asph/Flt Shingles
ROOF AREA 70	35,500	Asph/Flt Shingles
ROOF AREA 71	36,000	Asph/Flt Shingles
ROOF AREA 72	36,500	Asph/Flt Shingles
ROOF AREA 73	37,000	Asph/Flt Shingles
ROOF AREA 74	37,500	Asph/Flt Shingles
ROOF AREA 75	38,000	Asph/Flt Shingles
ROOF AREA 76	38,500	Asph/Flt Shingles
ROOF AREA 77	39,000	Asph/Flt Shingles
ROOF AREA 78	39,500	Asph/Flt Shingles
ROOF AREA 79	40,000	Asph/Flt Shingles
ROOF AREA 80	40,500	Asph/Flt Shingles
ROOF AREA 81	41,000	Asph/Flt Shingles
ROOF AREA 82	41,500	Asph/Flt Shingles
ROOF AREA 83	42,000	Asph/Flt Shingles
ROOF AREA 84	42,500	Asph/Flt Shingles
ROOF AREA 85	43,000	Asph/Flt Shingles
ROOF AREA 86	43,500	Asph/Flt Shingles
ROOF AREA 87	44,000	Asph/Flt Shingles
ROOF AREA 88	44,500	Asph/Flt Shingles
ROOF AREA 89	45,000	Asph/Flt Shingles
ROOF AREA 90	45,500	Asph/Flt Shingles
ROOF AREA 91	46,000	Asph/Flt Shingles
ROOF AREA 92	46,500	Asph/Flt Shingles
ROOF AREA 93	47,000	Asph/Flt Shingles
ROOF AREA 94	47,500	Asph/Flt Shingles
ROOF AREA 95	48,000	Asph/Flt Shingles
ROOF AREA 96	48,500	Asph/Flt Shingles
ROOF AREA 97	49,000	Asph/Flt Shingles
ROOF AREA 98	49,500	Asph/Flt Shingles
ROOF AREA 99	50,000	Asph/Flt Shingles
ROOF AREA 100	50,500	Asph/Flt Shingles



EXTERIOR ELEVATIONS - PLAN 1D - SPANISH TRADITIONAL

PLAN 1D - SPANISH TRADITIONAL

DATE: 2-27-04

SHEET: A1.8

SCALE: 1/4" = 1'-0"

REVISIONS

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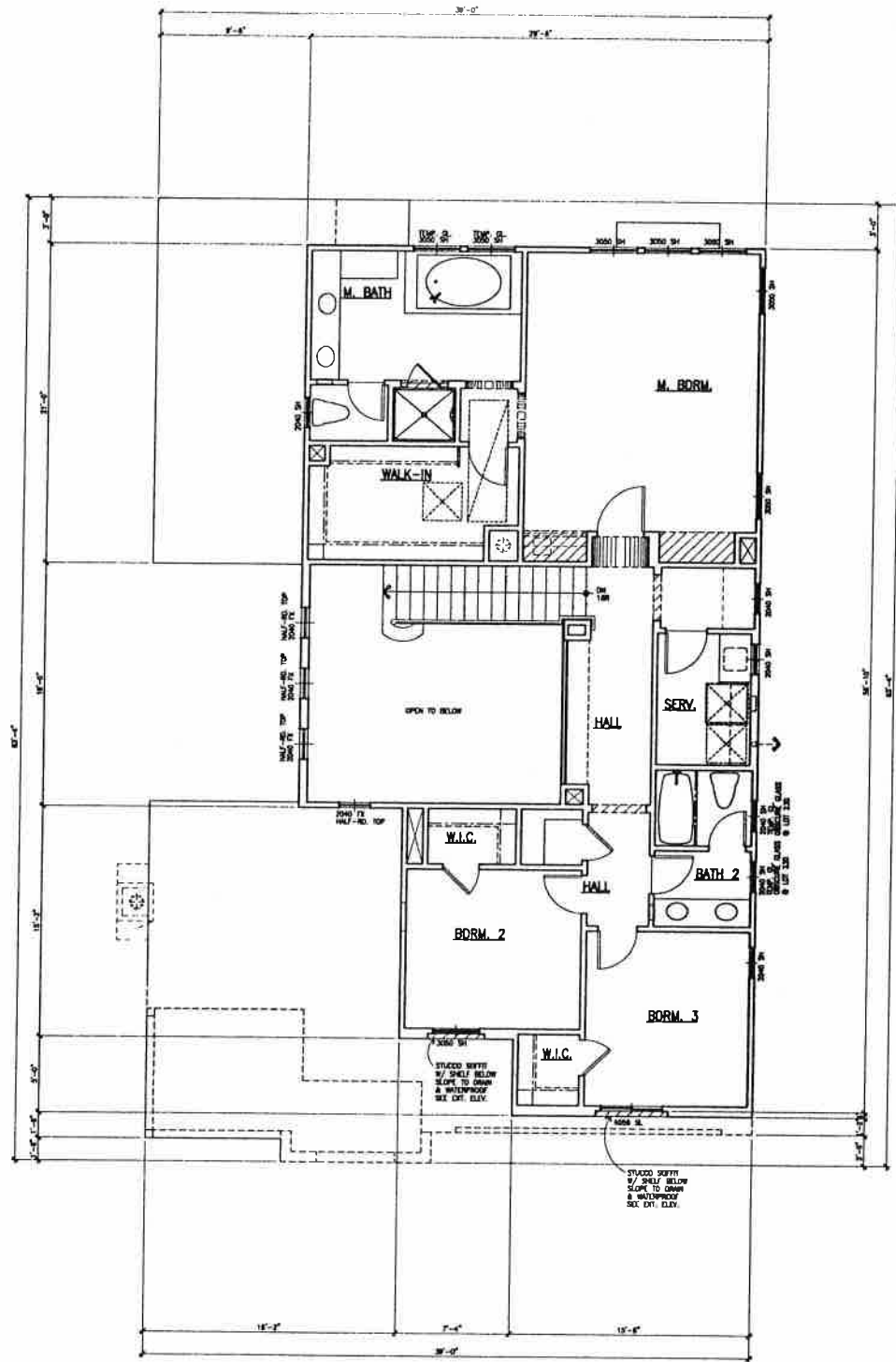
PLUM CREEK
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

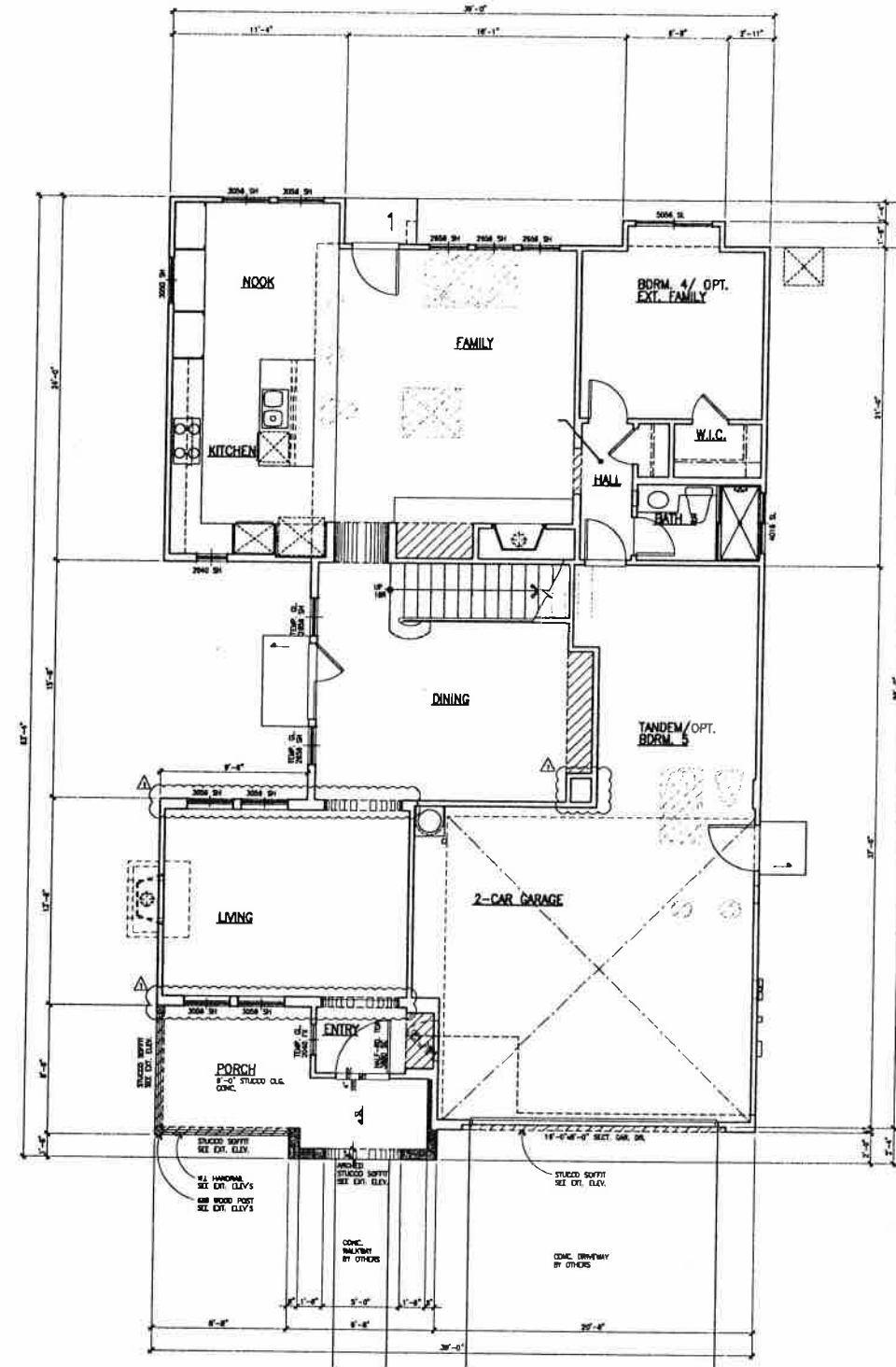
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits B4

TRACT #5182
S.F.D.

WILLIAM HEZMAHACH
ARCHITECTS
3450 20th Street, Suite 200
Simi Valley, CA 91359
Tel: 760.726.1350
Fax: 760.726.1351
www.hezmaach.com



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE

AREA	SQ. FT.
LOWER FLOOR PLAN	1405
UPPER FLOOR PLAN	1234
TOTAL	2639
GARAGE	841
PORCH	129
OPT. BEDROOM 3	158

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.
NOTE: REFER TO CIVIL AND LANDSCAPE CIVILS. BY OTHERS, FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.
REFER TO BASE PLAN SHEET A1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

MAR 02 2004

SCALE: 1/4" = 1'-0"

PLAN 1D - SPANISH TRADITIONAL

PLUM CREEK
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits F3

TRACT #5182
S.F.D.

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REVISIONS

NO.	DATE	DESCRIPTION
1	9-23-03	CLIENT REVISIONS

PROJECT MANAGER	J.B.
DESIGNER	A.W.
DRAWN BY	J.B.
REVIEWED BY	J.B.
100 BLDG DEPT SUBMITTAL	9-1-03
ISSUED FOR CONSTRUCTION	200118
JOB NUMBER	01148107.DWG
CAD FILE NAME	

DATE: 2-27-04
SHEET: A1.7

2-27-04 SECOND BLDG. DEPT. SUBMITTAL

PLUM CREEK
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

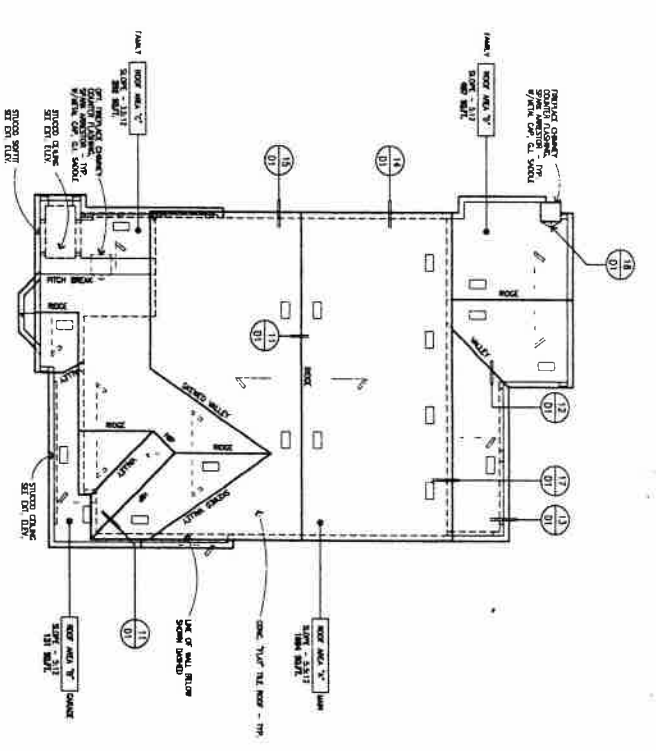
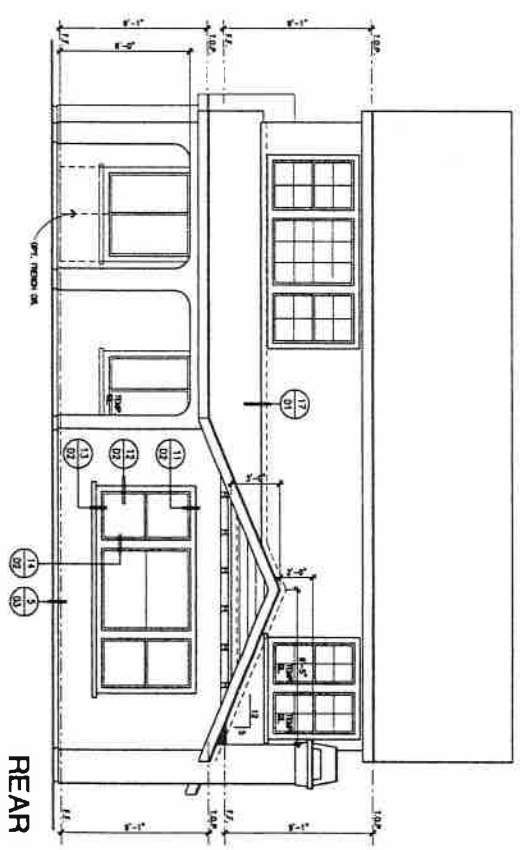
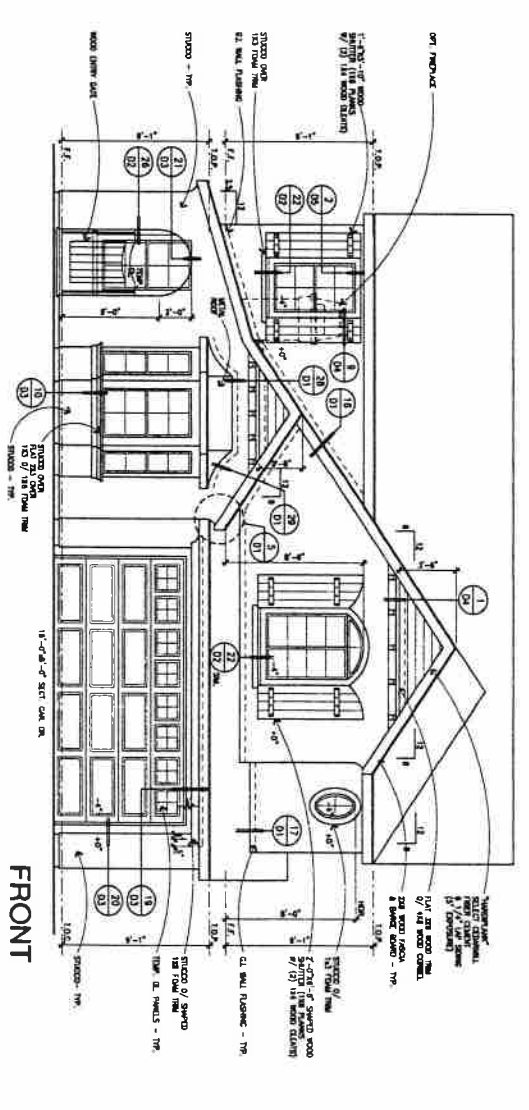
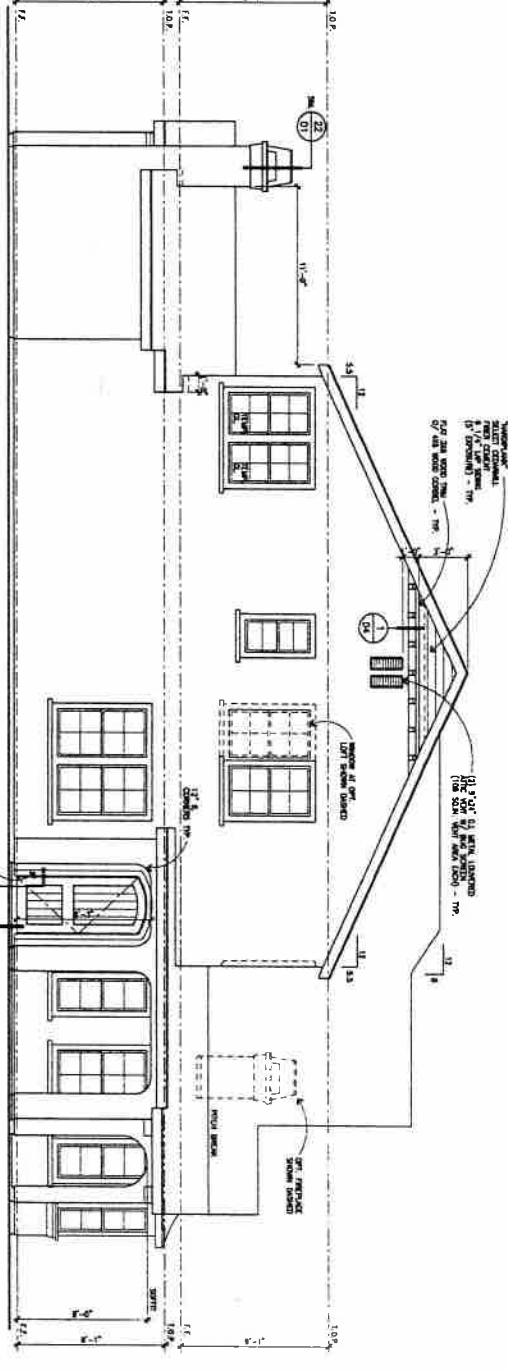
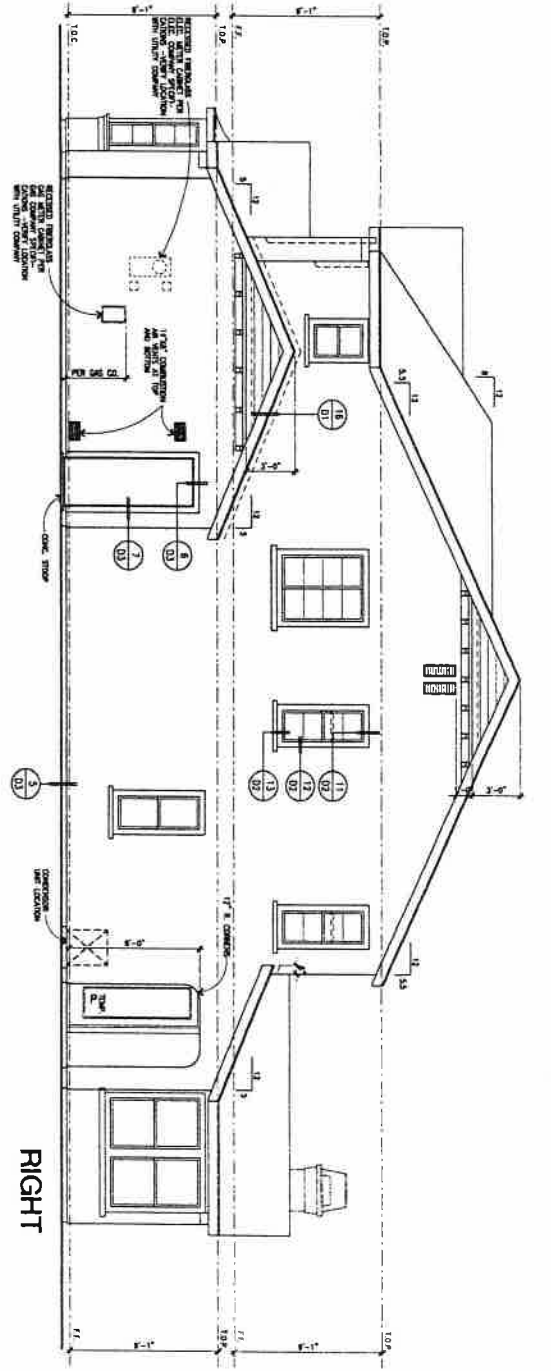
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PLAN 3A - FRENCH COUNTRY

MAR 22 2004
 SCALE: 1/4" = 1'-0"



ROOF PLAN LEGEND

1. 1/2" SLOPE/DIRECTION
 2. 1/4" SLOPE/DIRECTION
 3. 1/8" SLOPE/DIRECTION
 4. 1/16" SLOPE/DIRECTION

ROOF PLAN NOTES

1. SEE GENERAL NOTES FOR ROOF NOTES.
 2. SLOPE INDICATES SLOPE OF ROOF.
 3. DIRECTION INDICATES DIRECTION OF SLOPE.
 4. PROVIDE 1/4" SLOPE FROM GUTTER TO EAVES.

ROOF AREA SCHEDULE

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT
1	ROOF AREA	1,100	100%
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ROOF PLAN

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS - PLAN 3A - FRENCH COUNTRY

WILLIAM HENZMAHACH
ARCHITECTS, INC.
3000 JENSEN AVENUE, SUITE 200, SIMI VALLEY, CA 91381
TEL: 760/708-1100 FAX: 760/708-1101
WWW.WHARCHITECTS.COM



TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits F4

PLUM CREEK
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

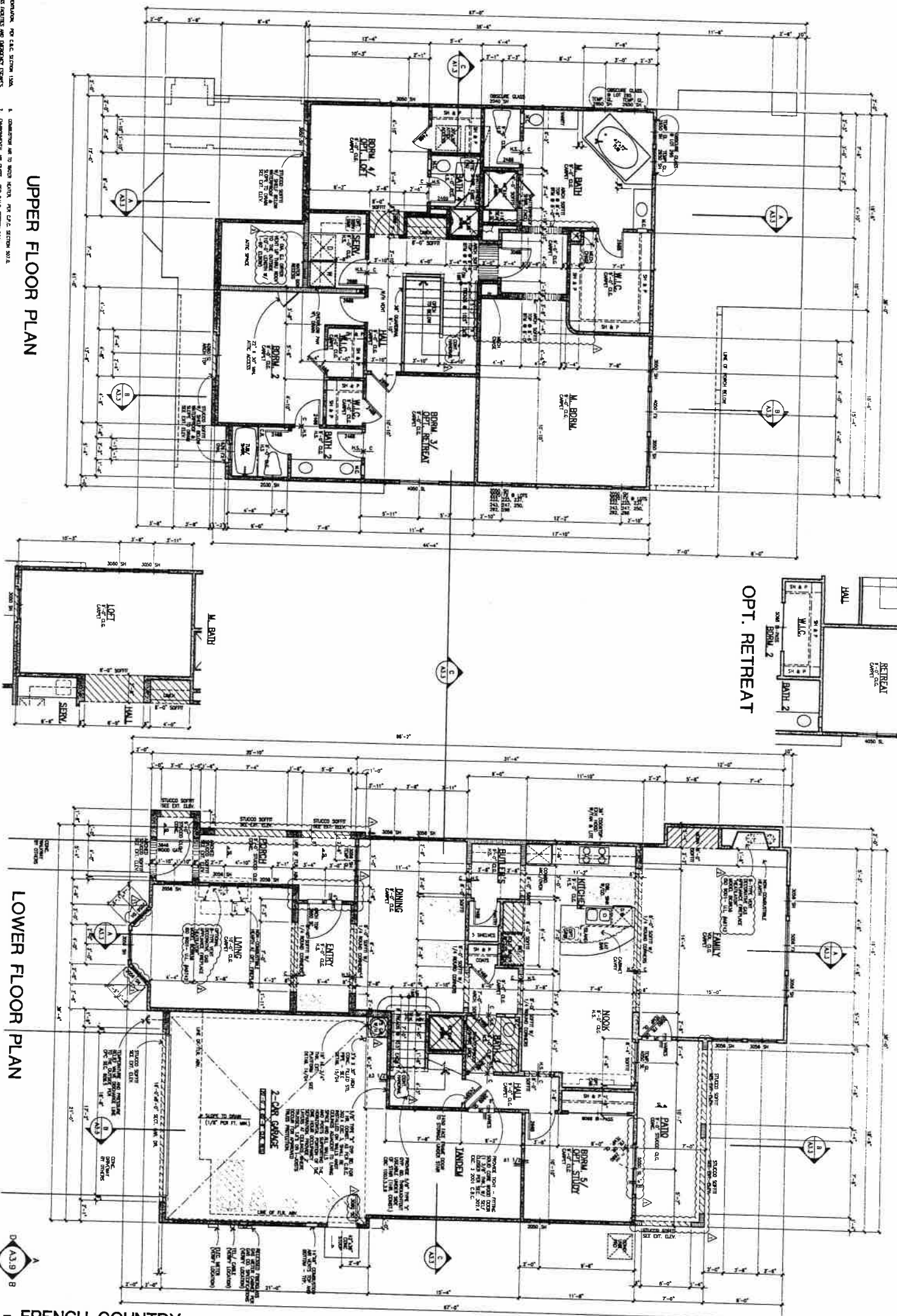
REVISIONS

NO.	DATE	DESCRIPTION
1	8-23-03	CLIENT REVISIONS
2	1-13-04	B. D. CONNECTIONS

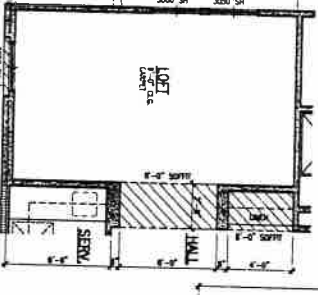
REVISIONS

NO.	DATE	DESCRIPTION
1	8-23-03	CLIENT REVISIONS
2	1-13-04	B. D. CONNECTIONS

PLAN 3A - FRENCH COUNTRY



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE

UPPER FLOOR AREA	1442	82	1524
LOWER FLOOR AREA	1442	82	1524
TOTAL	2884	164	3048
NETO	173	28	201
GROSS	31	28	59

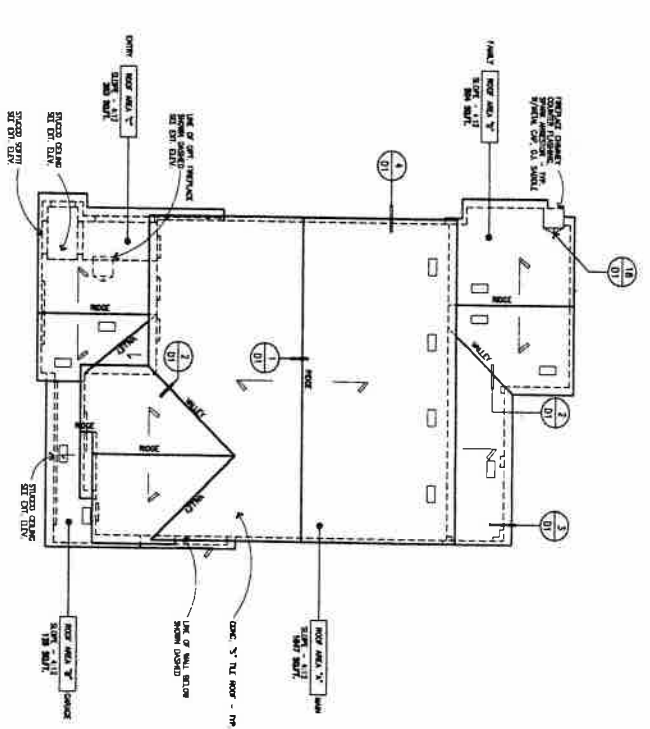


- FLOOR PLAN NOTES
1. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 2. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 3. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 4. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 5. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 6. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 7. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 8. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 9. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.
 10. ROOM ADJUSTMENT PER THE VENDOR, PER C.A.C. SECTION 100A.

FLOOR PLAN 3A - FRENCH COUNTRY

SCALE: 1/4" = 1'-0"

MAR022004



ROOF PLAN NOTES

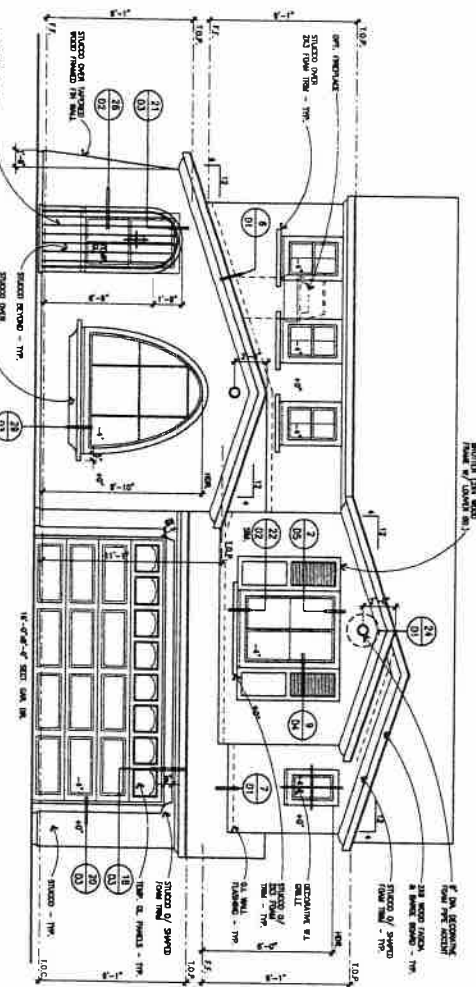
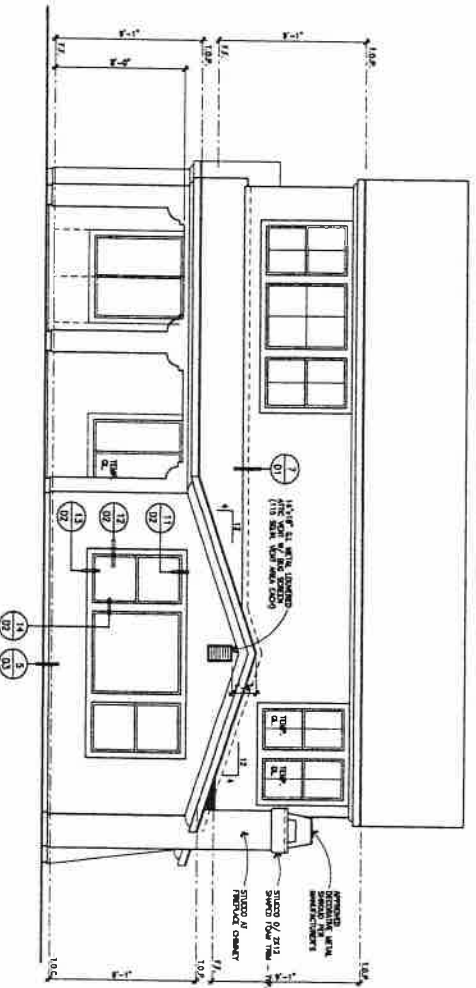
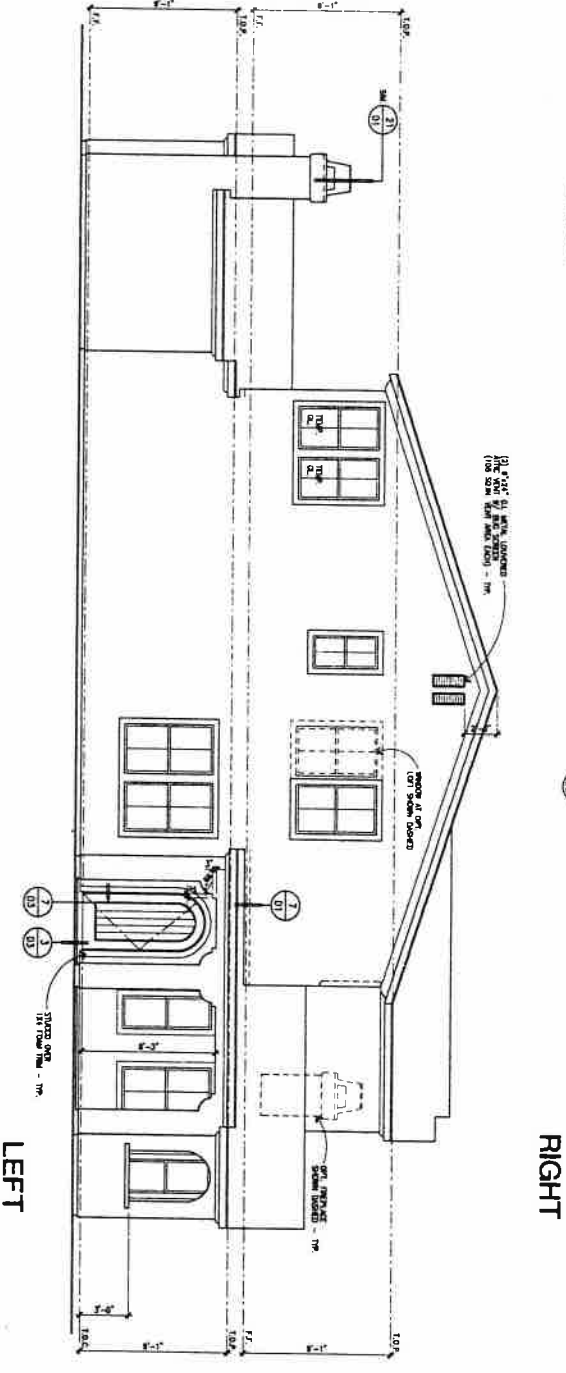
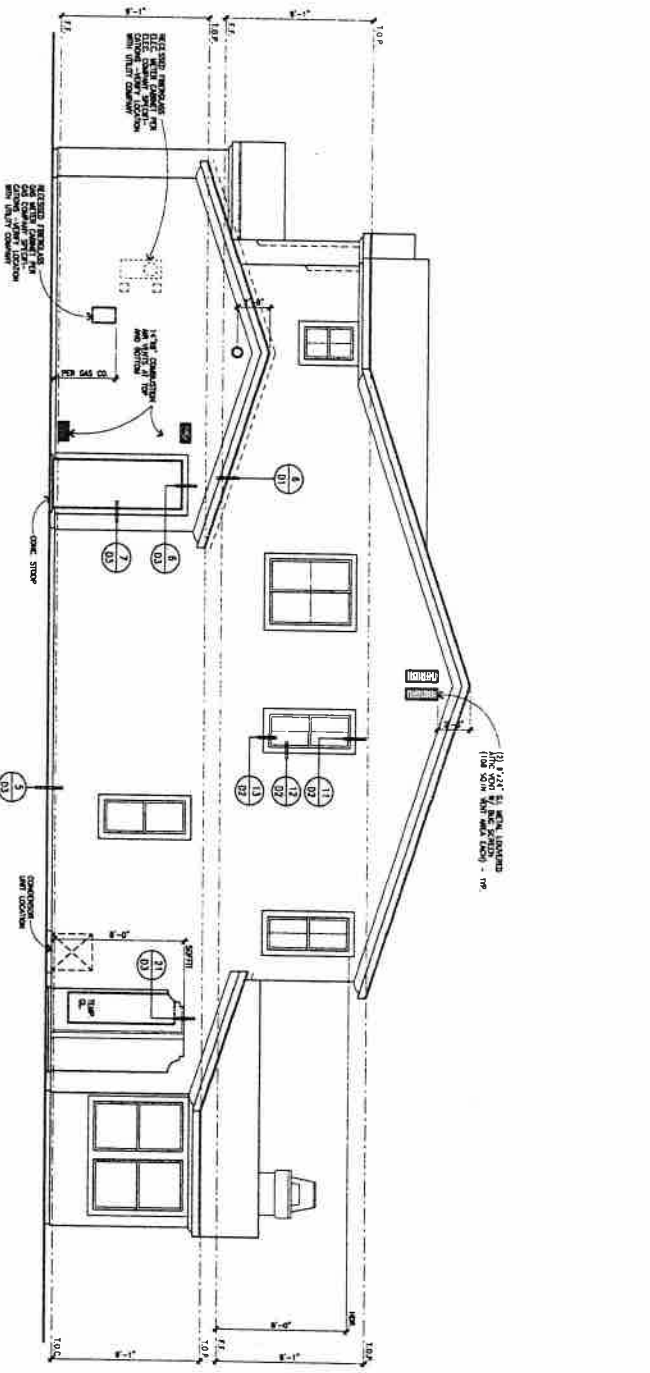
- SEE GENERAL NOTES FOR ROOF NOTES.
- SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
- SEE ARCHITECT'S SPECIFICATIONS FOR ROOFING SYSTEMS.
- SEE ARCHITECT'S SPECIFICATIONS FOR ROOFING SYSTEMS.

ROOF MATERIALS

NO.	DESCRIPTION	THICKNESS	UNIT WEIGHT	LOADING
1	ASPH/FLT SHEET PILING	1/2"	12.5 PSF	1/2" OF ROOF AREA
2	2" X 4" JOIST	2"	15.0 PSF	1/2" OF ROOF AREA
3	1" X 6" JOIST	1"	10.0 PSF	1/2" OF ROOF AREA
4	1" X 8" JOIST	1"	12.5 PSF	1/2" OF ROOF AREA
5	2" X 8" JOIST	2"	17.5 PSF	1/2" OF ROOF AREA
6	2" X 10" JOIST	2"	22.5 PSF	1/2" OF ROOF AREA
7	2" X 12" JOIST	2"	27.5 PSF	1/2" OF ROOF AREA
8	2" X 14" JOIST	2"	32.5 PSF	1/2" OF ROOF AREA
9	2" X 16" JOIST	2"	37.5 PSF	1/2" OF ROOF AREA
10	2" X 18" JOIST	2"	42.5 PSF	1/2" OF ROOF AREA
11	2" X 20" JOIST	2"	47.5 PSF	1/2" OF ROOF AREA
12	2" X 22" JOIST	2"	52.5 PSF	1/2" OF ROOF AREA
13	2" X 24" JOIST	2"	57.5 PSF	1/2" OF ROOF AREA
14	2" X 26" JOIST	2"	62.5 PSF	1/2" OF ROOF AREA
15	2" X 28" JOIST	2"	67.5 PSF	1/2" OF ROOF AREA
16	2" X 30" JOIST	2"	72.5 PSF	1/2" OF ROOF AREA
17	2" X 32" JOIST	2"	77.5 PSF	1/2" OF ROOF AREA
18	2" X 34" JOIST	2"	82.5 PSF	1/2" OF ROOF AREA
19	2" X 36" JOIST	2"	87.5 PSF	1/2" OF ROOF AREA
20	2" X 38" JOIST	2"	92.5 PSF	1/2" OF ROOF AREA
21	2" X 40" JOIST	2"	97.5 PSF	1/2" OF ROOF AREA
22	2" X 42" JOIST	2"	102.5 PSF	1/2" OF ROOF AREA
23	2" X 44" JOIST	2"	107.5 PSF	1/2" OF ROOF AREA
24	2" X 46" JOIST	2"	112.5 PSF	1/2" OF ROOF AREA
25	2" X 48" JOIST	2"	117.5 PSF	1/2" OF ROOF AREA
26	2" X 50" JOIST	2"	122.5 PSF	1/2" OF ROOF AREA
27	2" X 52" JOIST	2"	127.5 PSF	1/2" OF ROOF AREA
28	2" X 54" JOIST	2"	132.5 PSF	1/2" OF ROOF AREA
29	2" X 56" JOIST	2"	137.5 PSF	1/2" OF ROOF AREA
30	2" X 58" JOIST	2"	142.5 PSF	1/2" OF ROOF AREA
31	2" X 60" JOIST	2"	147.5 PSF	1/2" OF ROOF AREA
32	2" X 62" JOIST	2"	152.5 PSF	1/2" OF ROOF AREA
33	2" X 64" JOIST	2"	157.5 PSF	1/2" OF ROOF AREA
34	2" X 66" JOIST	2"	162.5 PSF	1/2" OF ROOF AREA
35	2" X 68" JOIST	2"	167.5 PSF	1/2" OF ROOF AREA
36	2" X 70" JOIST	2"	172.5 PSF	1/2" OF ROOF AREA
37	2" X 72" JOIST	2"	177.5 PSF	1/2" OF ROOF AREA
38	2" X 74" JOIST	2"	182.5 PSF	1/2" OF ROOF AREA
39	2" X 76" JOIST	2"	187.5 PSF	1/2" OF ROOF AREA
40	2" X 78" JOIST	2"	192.5 PSF	1/2" OF ROOF AREA
41	2" X 80" JOIST	2"	197.5 PSF	1/2" OF ROOF AREA
42	2" X 82" JOIST	2"	202.5 PSF	1/2" OF ROOF AREA
43	2" X 84" JOIST	2"	207.5 PSF	1/2" OF ROOF AREA
44	2" X 86" JOIST	2"	212.5 PSF	1/2" OF ROOF AREA
45	2" X 88" JOIST	2"	217.5 PSF	1/2" OF ROOF AREA
46	2" X 90" JOIST	2"	222.5 PSF	1/2" OF ROOF AREA
47	2" X 92" JOIST	2"	227.5 PSF	1/2" OF ROOF AREA
48	2" X 94" JOIST	2"	232.5 PSF	1/2" OF ROOF AREA
49	2" X 96" JOIST	2"	237.5 PSF	1/2" OF ROOF AREA
50	2" X 98" JOIST	2"	242.5 PSF	1/2" OF ROOF AREA
51	2" X 100" JOIST	2"	247.5 PSF	1/2" OF ROOF AREA

ROOF PLAN

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS - PLAN 3B - SPANISH COLONIAL

SCALE: 1/4" = 1'-0"

PLAN 3B - SPANISH COLONIAL

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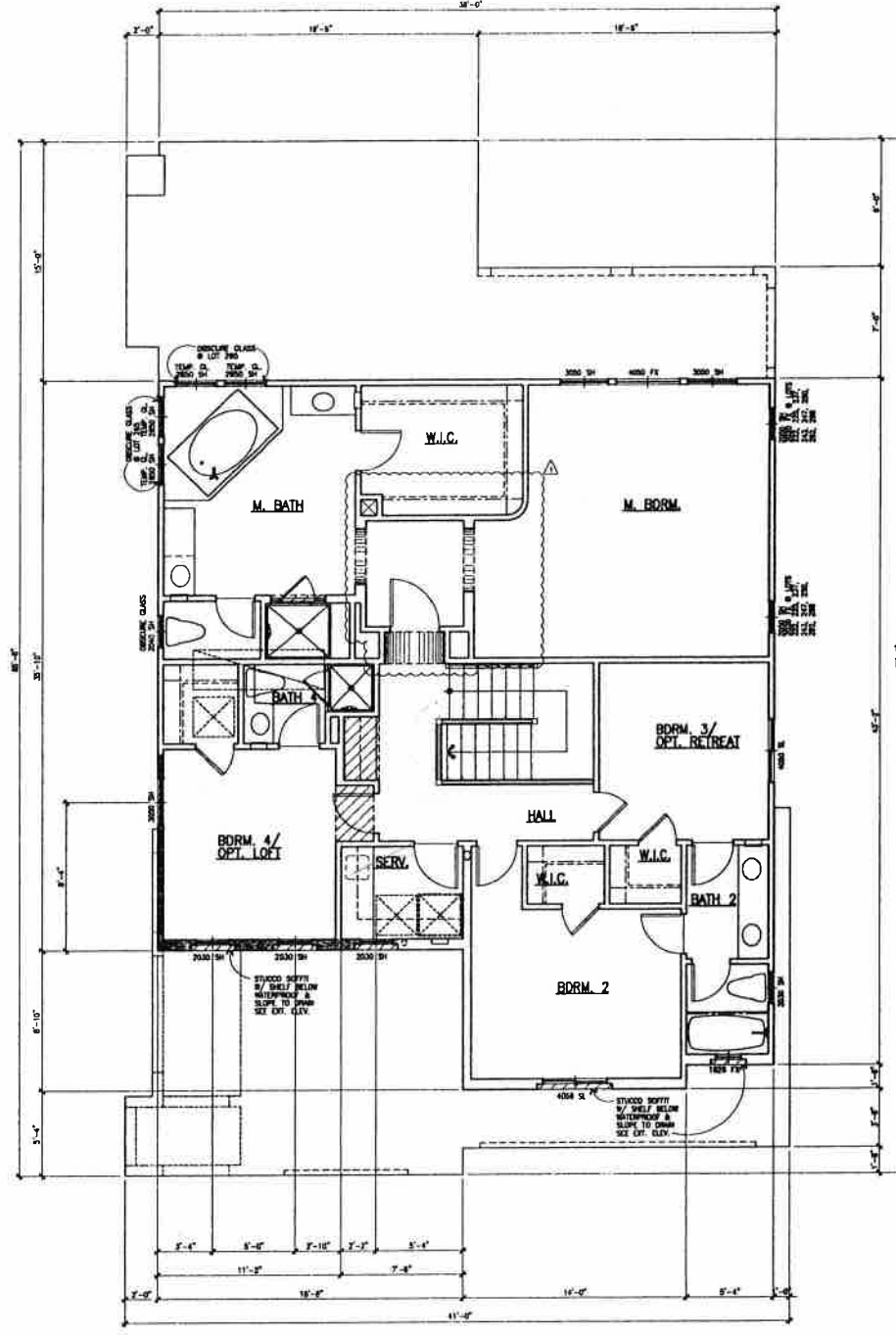
PLUM CREEK
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

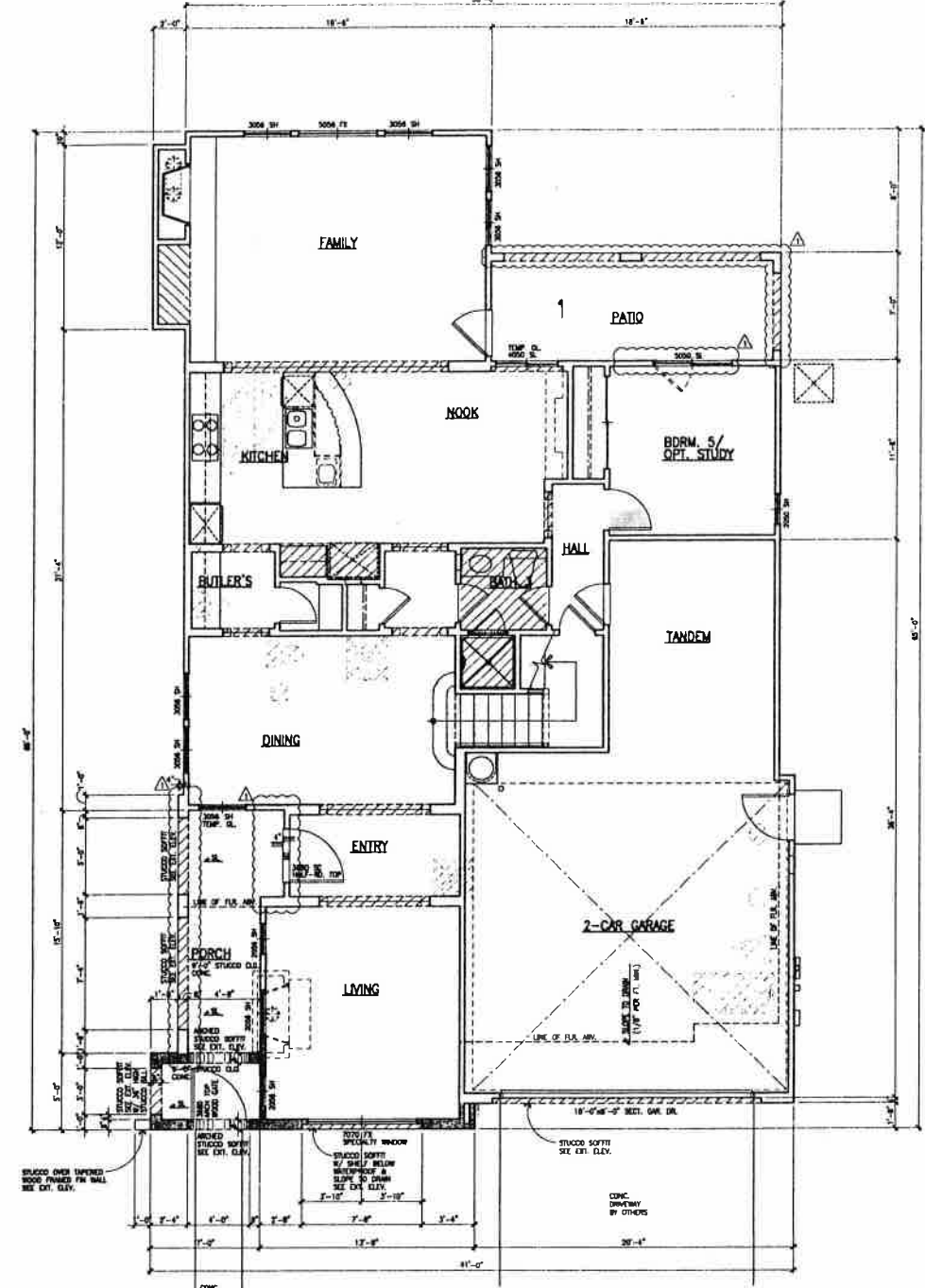
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Plum Creek
Exhibits B6

TRACT #5182
S.F.D.

WILLIAM HENNAHALCH
ARCHITECTS INC.
11111 BURNING WOOD DRIVE
VAN NUYS, CA 91411
TEL: (818) 709-1170
FAX: (818) 709-1171



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE:

LOWER FLOOR PLAN	1447	SQ. FT.
UPPER FLOOR PLAN	1444	SQ. FT.
TOTAL SQ. FT.	2891	SQ. FT.
PATIO	130	SQ. FT.
PORCH	97	SQ. FT.
GARAGE SQ. FT.	821	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

MAR 22 2004

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE DWG'S BY OTHERS, FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A3.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SCALE: 1/4" = 1'-0"

PLUM CREEK
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ.1
 Village E - Plum Creek
 Exhibits F5

TRACT #5182
 S.F.D.

PLAN 3B - SPANISH COLONIAL

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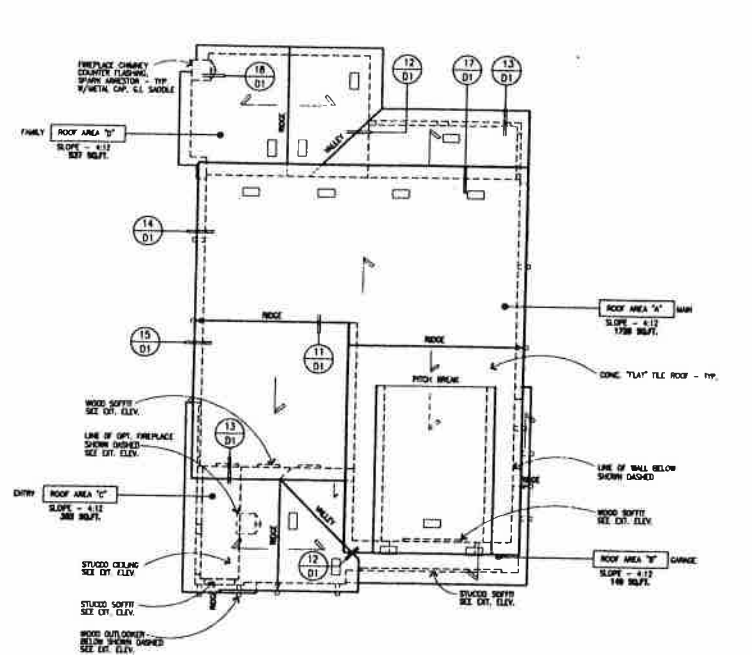
DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
1	9-23-03	CLIENT REVISIONS

PROJECT MANAGER: J.B.
 DESIGNER: A.M.
 DRAWN BY: J.B.
 REVIEWED BY: J.B.
 TEST BLDG. DEPT. SUBMITTAL: 9-2-03
 SUBMITTED FOR CONSTRUCTION:
 JOB NUMBER: 2003148
 CAD FILE NAME: 01148320.DWG

DATE: 2-27-04
 SHEET: A3.5



ROOF PLAN LEGEND

INDICATES .12 SLOPE/DIRECTION

INDICATES .12 SLOPE/DIRECTION

INDICATES DORMER (IF REQUIRED)

INDICATES ROOF JOIST (IF REQUIRED)

INDICATES LINE OF DRAINAGE

INDICATES LINE OF STRUCTURE

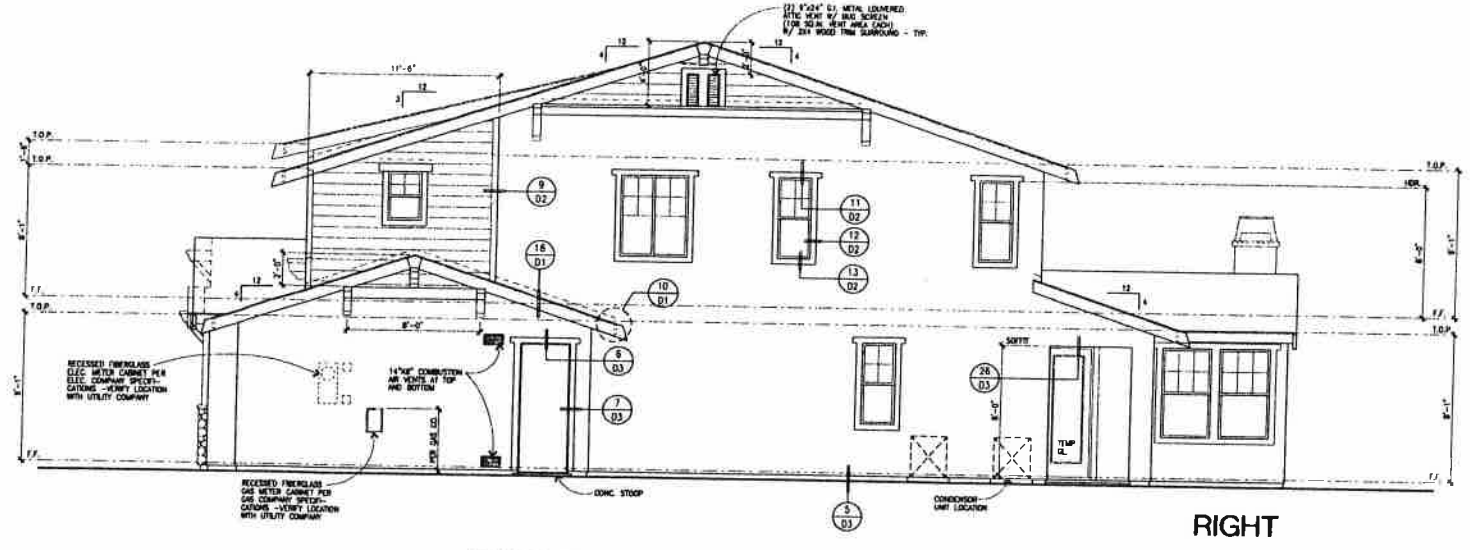
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- DRAINAGE DIRECTION SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- OVERLAP: 1" - IF SAME CONDITION (TAKE INTO ACCOUNT OVERLAP).
- PROVIDE ATTIC VENTILATION AS PER SECTION 1003.3 OF THE 2001 CALIFORNIA BUILDING CODE.

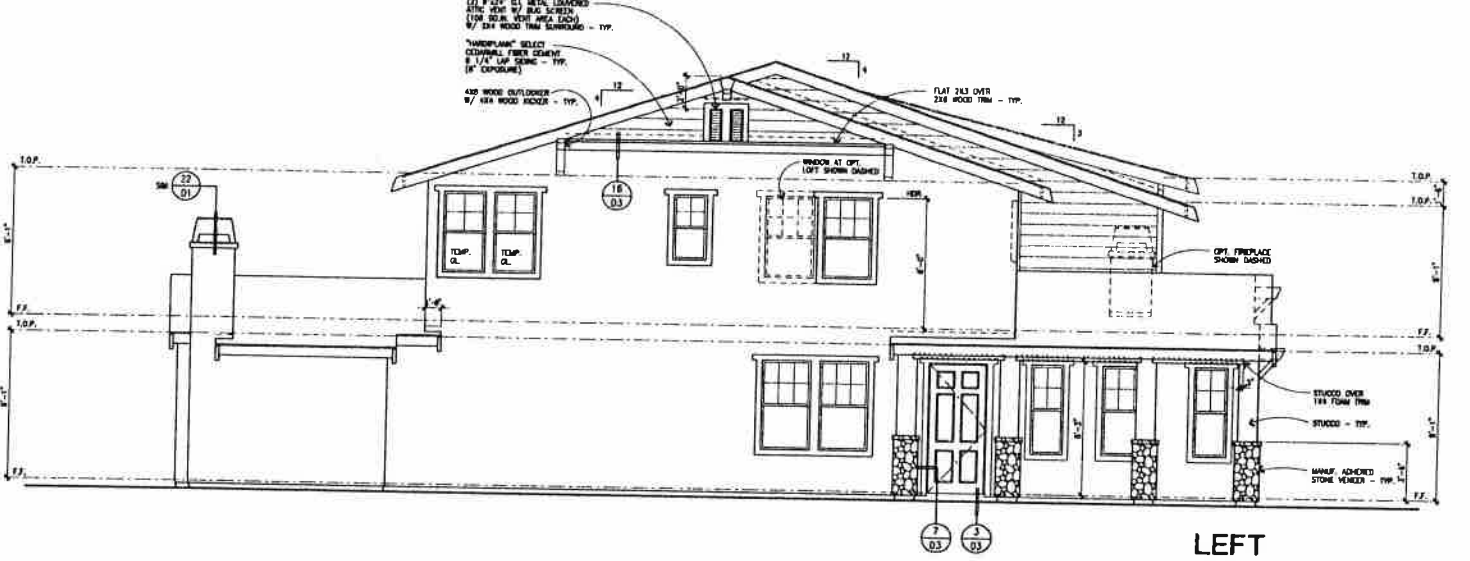
ATTIC VENT REQUIREMENTS

ROOF AREA 1"	ROOF AREA 2"	ROOF AREA 3"	ROOF AREA 4"
ATTIC AREA: 1228 SQ. FT.	ATTIC AREA: 118 SQ. FT.	ATTIC AREA: 362 SQ. FT.	ATTIC AREA: 327 SQ. FT.
PROVIDED: (USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)
CABLE VENT(S) AT 120 SQ. IN.	CABLE VENT(S) AT 50 IN.	CABLE VENT(S) AT 50 IN.	CABLE VENT(S) AT 50 IN.
DORMER VENT(S) AT 100 SQ. IN.	DORMER VENT(S) AT 100 SQ. IN.	DORMER VENT(S) AT 100 SQ. IN.	DORMER VENT(S) AT 100 SQ. IN.
UPPER PROVIDED: 532 SQ. IN.	UPPER PROVIDED: 200 SQ. IN.	UPPER PROVIDED: 200 SQ. IN.	UPPER PROVIDED: 200 SQ. IN.
UPPER REQUIRED: 532 SQ. IN.	UPPER REQUIRED: 200 SQ. IN.	UPPER REQUIRED: 200 SQ. IN.	UPPER REQUIRED: 200 SQ. IN.
LOW VENT(S) AT 0 SQ. IN.	LOW VENT(S) AT 0 SQ. IN.	LOW VENT(S) AT 0 SQ. IN.	LOW VENT(S) AT 0 SQ. IN.
ALTERNATE VENT(S) PROVIDED (LOW) AT 100 SQ. IN.	ALTERNATE VENT(S) PROVIDED (LOW) AT 100 SQ. IN.	ALTERNATE VENT(S) PROVIDED (LOW) AT 100 SQ. IN.	ALTERNATE VENT(S) PROVIDED (LOW) AT 100 SQ. IN.
LOWER PROVIDED: 500 SQ. IN.	LOWER PROVIDED: 0 SQ. IN.	LOWER PROVIDED: 0 SQ. IN.	LOWER PROVIDED: 0 SQ. IN.
LOWER REQUIRED: 512 SQ. IN.	LOWER REQUIRED: 0 SQ. IN.	LOWER REQUIRED: 0 SQ. IN.	LOWER REQUIRED: 0 SQ. IN.
TOTAL PROVIDED: 832 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.
TOTAL REQUIRED: 832 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.

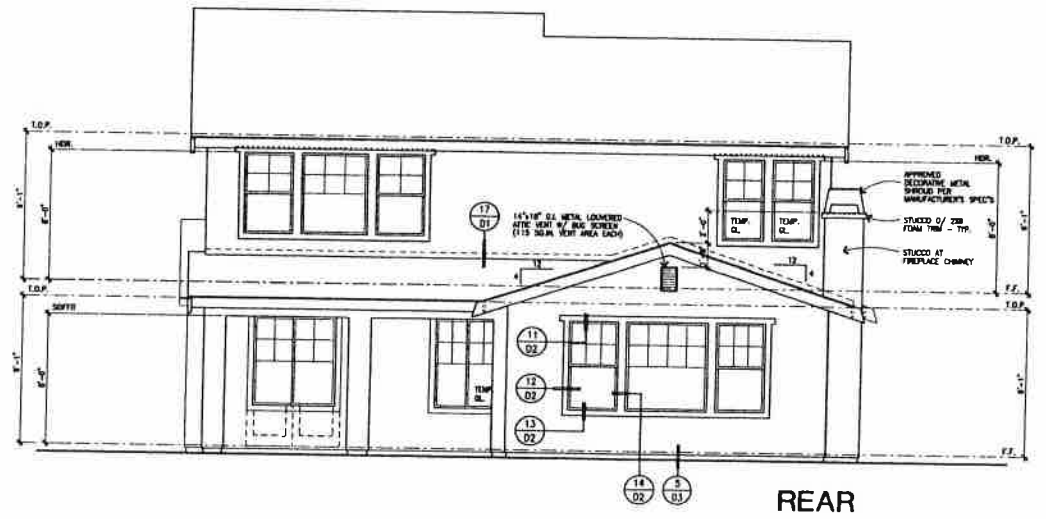
SCALE: 1/8" = 1'-0"



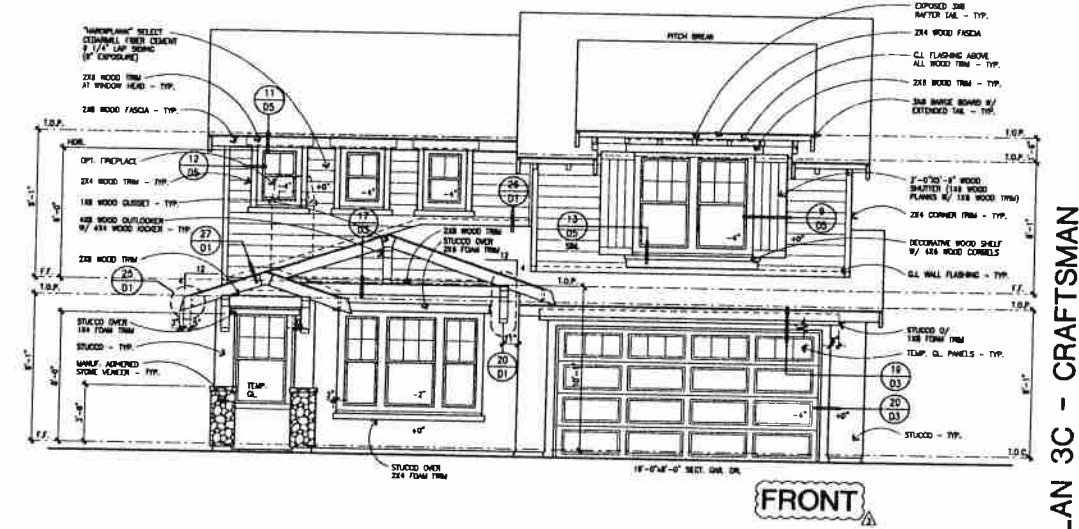
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS - PLAN 3C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

PLAN 3C - CRAFTSMAN

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DD NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	3-22-04	CLIENT REV. - COMMENTS

PROJECT MANAGER:	J.B.
DESIGNER:	A.B.
DRAWN BY:	J.B.
REVIEWED BY:	J.B.
1ST BLOCK DEPT. SUBMITAL:	9-2-03
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	200108
CAD FILE NAME:	0114040101
DATE:	4-29-04
SHEET:	A3.8

"CRAFTSMAN" ELEV. REVISION

W
WILLIAM HEZMALHALCH ARCHITECTS, INC.
 2801 REDWOOD AVENUE, SUITE 200, SANTA ANA, CALIFORNIA 92705-5803
 949.535.8887 www.hezmalhalch.com PO BOX 208 1039
 3875 HOPKINS ROAD, SUITE 205 PLEASANTON, CA 94566-0205
 925.483.1726

TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Plum Creek
 Exhibits B7

PLUM CREEK
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

WILLIAM HEZMALHACH
 ARCHITECTS, INC.
 2400 RIVINGTON DRIVE, SUITE 200, SAN ANTONIO, TEXAS 78247
 TEL: (214) 343-1100 FAX: (214) 343-1101
 WWW.WHARCHITECTS.COM



TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Plum Creek
 Exhibits F6

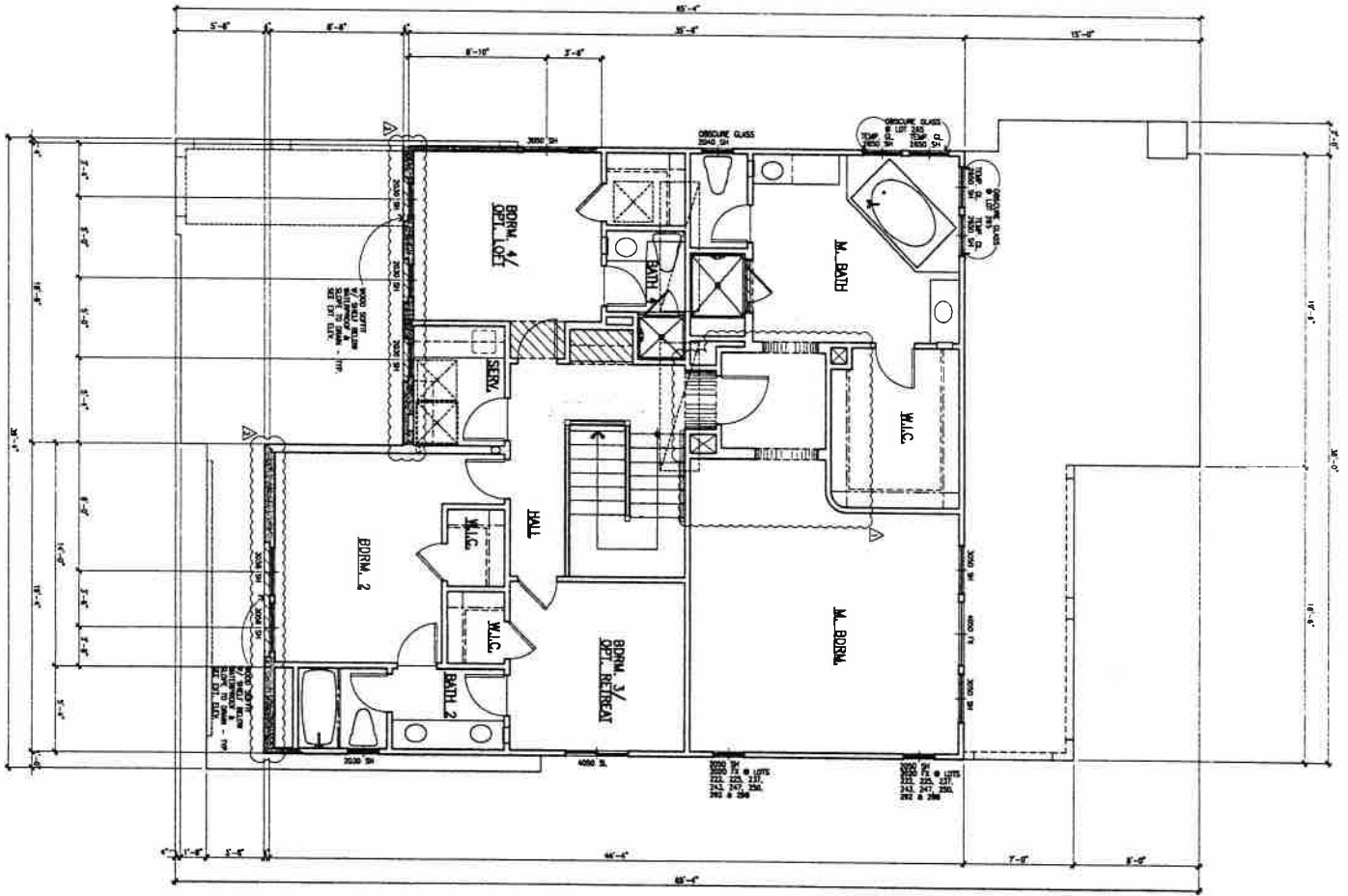
PLUM CREEK
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

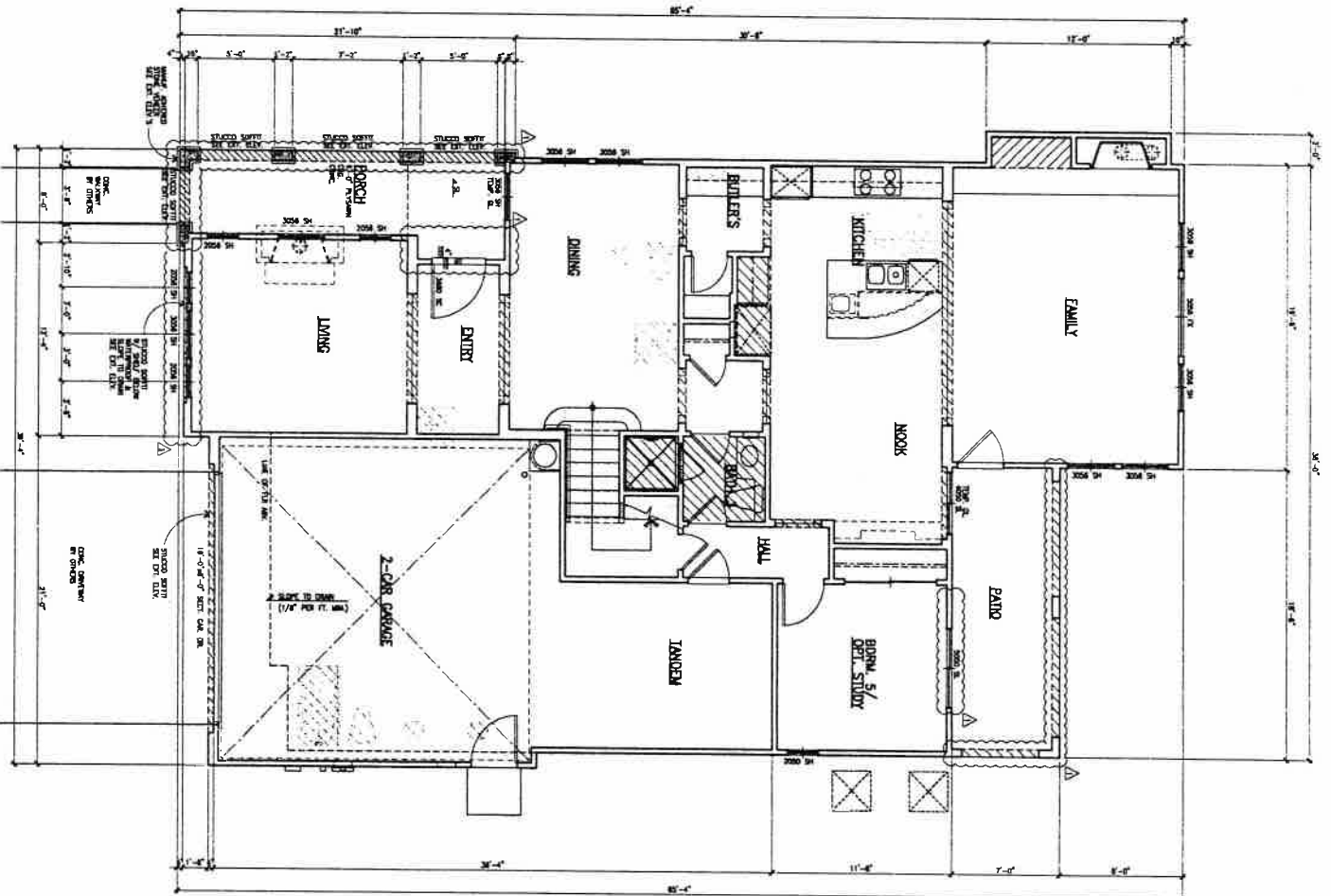
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NO. 1
 DATE 9-23-03
 DESCRIPTION CLEAR REVISIONS

NO. 2
 DATE 3-22-04
 DESCRIPTION CLEAR REV. - TYPING



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE

ROOM	AREA	PERCENT
UPPER FLOOR PLAN	1441	50.71
LOWER FLOOR PLAN	1441	50.71
TOTAL	2882	101.42
POOR	10	0.35
TOTAL	2892	101.77

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

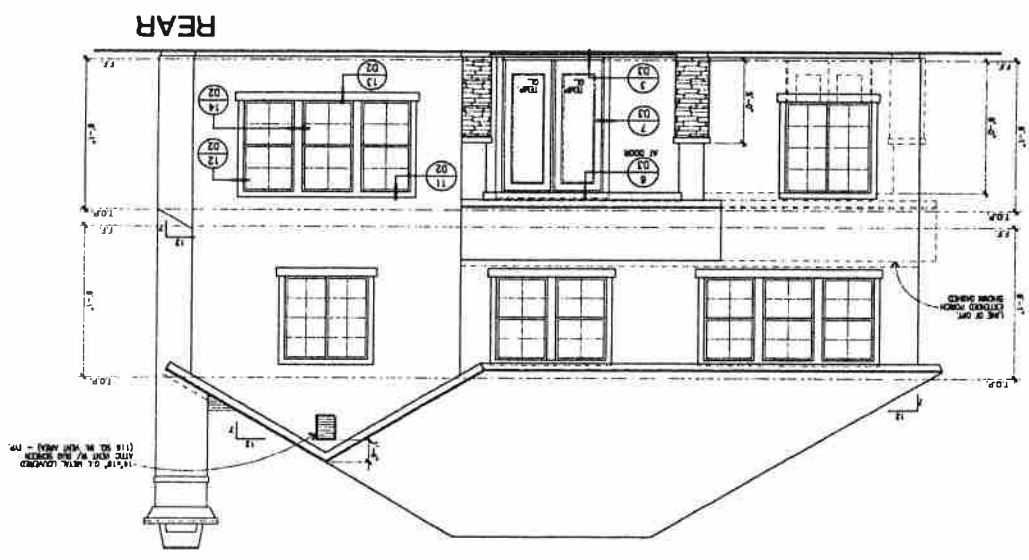
PLAN 3C - CRAFTSMAN

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

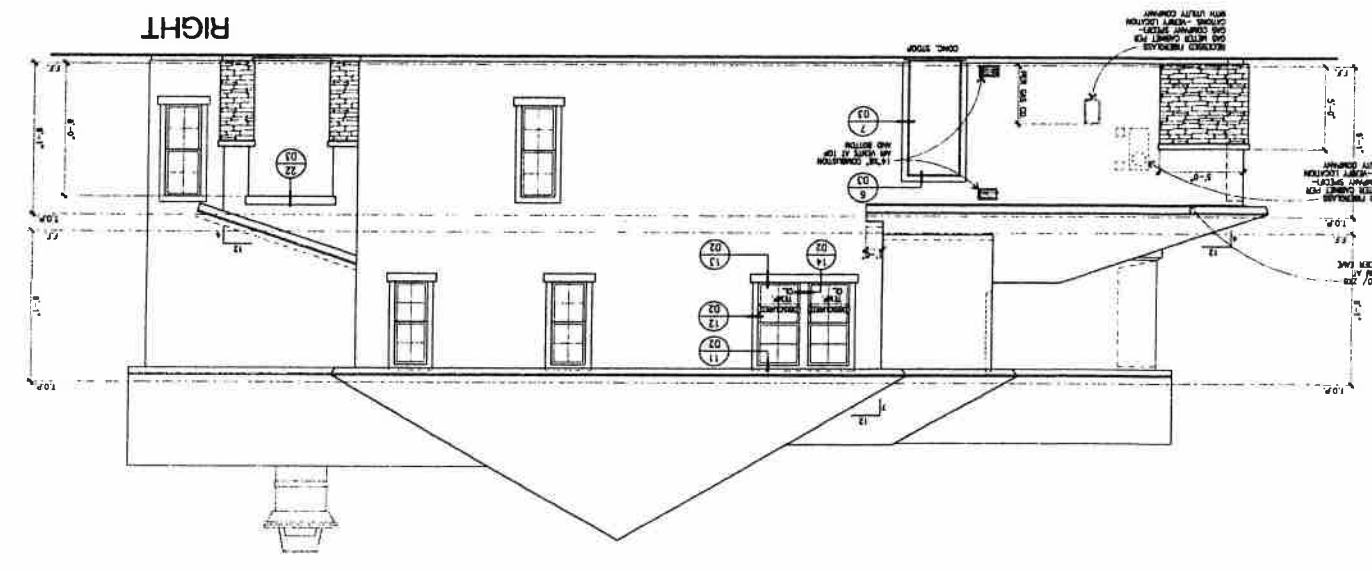
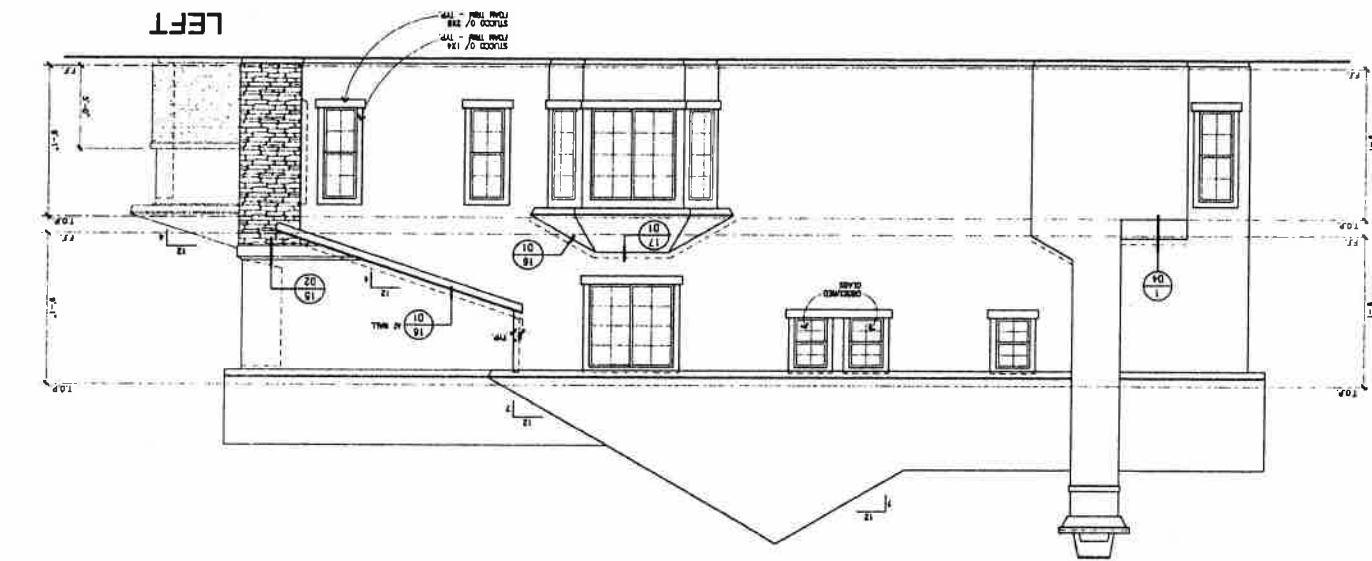
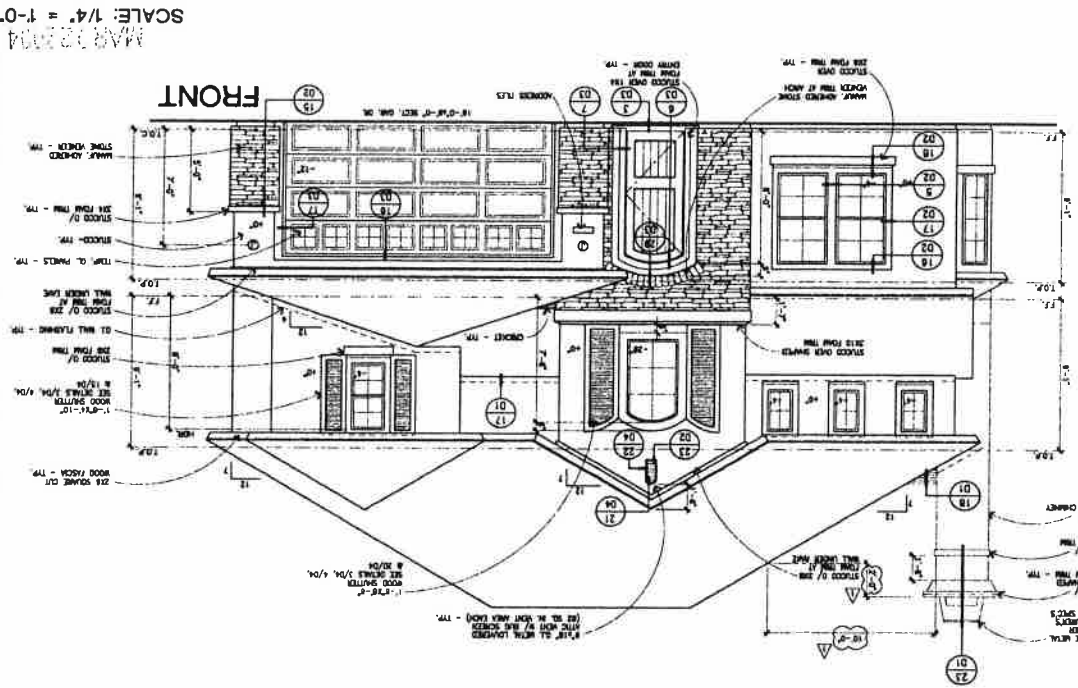
SCALE: 1/4" = 1'-0"

DATE: 4-29-04
 SHEET: A3.7

EXTERIOR ELEVATIONS - PLAN 4A - FRENCH COUNTRY



SCALE 1/8" = 1'-0"

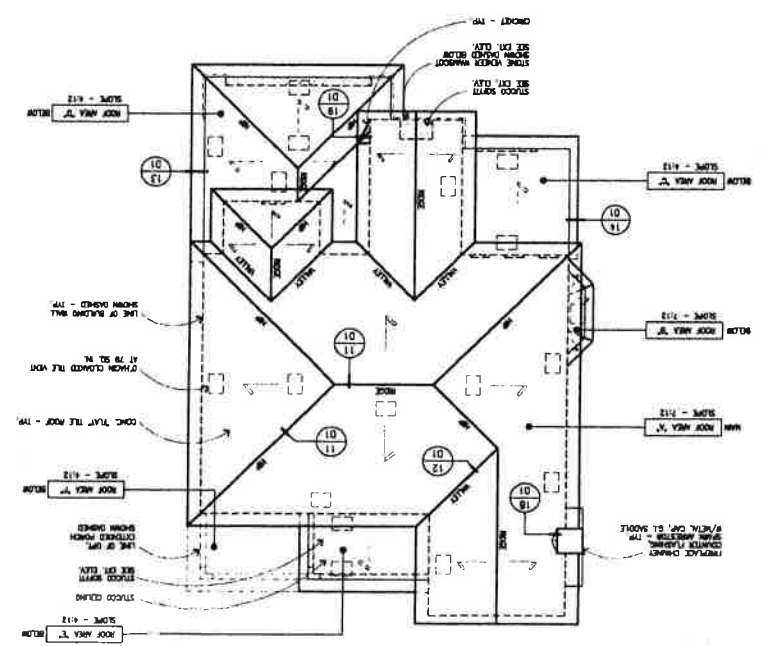


ROOF PLAN

SCALE 1/8" = 1'-0"

ROOF PLAN NOTES:
 1. SEE GENERAL NOTES FOR ROOF WORKS.
 2. FINISH MATERIALS TO BE DETERMINED BY ARCHITECT.
 3. ALL ROOFING TO BE INSTALLED AT 1/2" MINIMUM OVERLAP.
 4. FLASHING TO BE INSTALLED AT ALL PENETRATIONS.
 5. GUTTERS TO BE INSTALLED AT ALL EAVES.
 6. ROOF DRAINAGE TO BE TO THE STREET OR TO A DRAINAGE SYSTEM.
 7. ROOFING TO BE INSTALLED OVER EXISTING ROOFING.
 8. ROOFING TO BE INSTALLED OVER CONCRETE SLAB.
 9. ROOFING TO BE INSTALLED OVER INSULATION.
 10. ROOFING TO BE INSTALLED OVER STRUCTURAL DECK.

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YD.)
1	Asph/Flt Shingles	1,200	133.33
2	Flashed	100	11.11
3	Chimney	50	5.56
4	Gutter	100	11.11
5	Roof Drain	50	5.56
6	Roof Deck	1,500	166.67
7	Insulation	1,500	166.67
8	Structural Deck	1,500	166.67
9	Concrete Slab	1,500	166.67
10	Roofing	1,500	166.67
11	Roofing	1,500	166.67
12	Roofing	1,500	166.67
13	Roofing	1,500	166.67
14	Roofing	1,500	166.67
15	Roofing	1,500	166.67
16	Roofing	1,500	166.67
17	Roofing	1,500	166.67
18	Roofing	1,500	166.67
19	Roofing	1,500	166.67
20	Roofing	1,500	166.67
21	Roofing	1,500	166.67
22	Roofing	1,500	166.67
23	Roofing	1,500	166.67
24	Roofing	1,500	166.67
25	Roofing	1,500	166.67
26	Roofing	1,500	166.67
27	Roofing	1,500	166.67
28	Roofing	1,500	166.67
29	Roofing	1,500	166.67
30	Roofing	1,500	166.67



PLAN 4A - FRENCH COUNTRY

DATE: 2-27-04
 SHEET: A4.4

PROJECT MANAGER: J. S.
 DESIGNER: C. L.
 DRAWN BY: J. S.
 CHECKED BY: J. S.
 APPROVED BY: J. S.
 DATE: 2-18-04

NO. DATE DESCRIPTION

REVISIONS

DO NOT SCALE PLANS

WALNUT GROVE
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Walnut Grove
 Exhibits B1

TRACT #5182
 S.F.D.

WILLIAM HEZMALHALCH ARCHITECTS, INC.
 1500 W. BROADWAY, SUITE 200, SANTA ANA, CALIFORNIA 92704
 TEL: 714.944.1111 FAX: 714.944.1112

TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ 1
 Village E - Walnut Grove
 Exhibits F1

WALNUT GROVE
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

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 PERMISSION AND CONSENT OF WILLIAM HEZMALHALCH ARCHITECTS,
 INC. BY THE EXERCISE OF UNAUTHORIZED USE OF THESE PLANS BY A
 THIRD PARTY, THE THIRD PARTY SHALL HOLD WILLIAM HEZMALHALCH
 ARCHITECTS, INC. HARMLESS.

DO NOT SCALE PLANS

REVISIONS

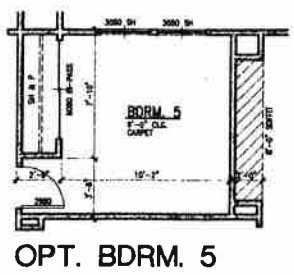
NO.	DATE	DESCRIPTION
1	2-18-04	B. D. CORRECTIONS

PROJECT MANAGER:	J. B.
DESIGNER:	C. K.
DRAWN BY:	J. B.
REVIEWED BY:	J. B.
1ST BLDG. DEPT. SUBMITTAL:	10-13-03
ISSUED FOR CONSTRUCTION:	10-13-03
JOB NUMBER:	2001130
CAD FILE NAME:	011130A01.DWG

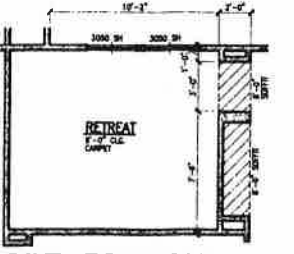
DATE: 2-27-04 SHEET: A4.1

PLAN 4A - FRENCH COUNTRY

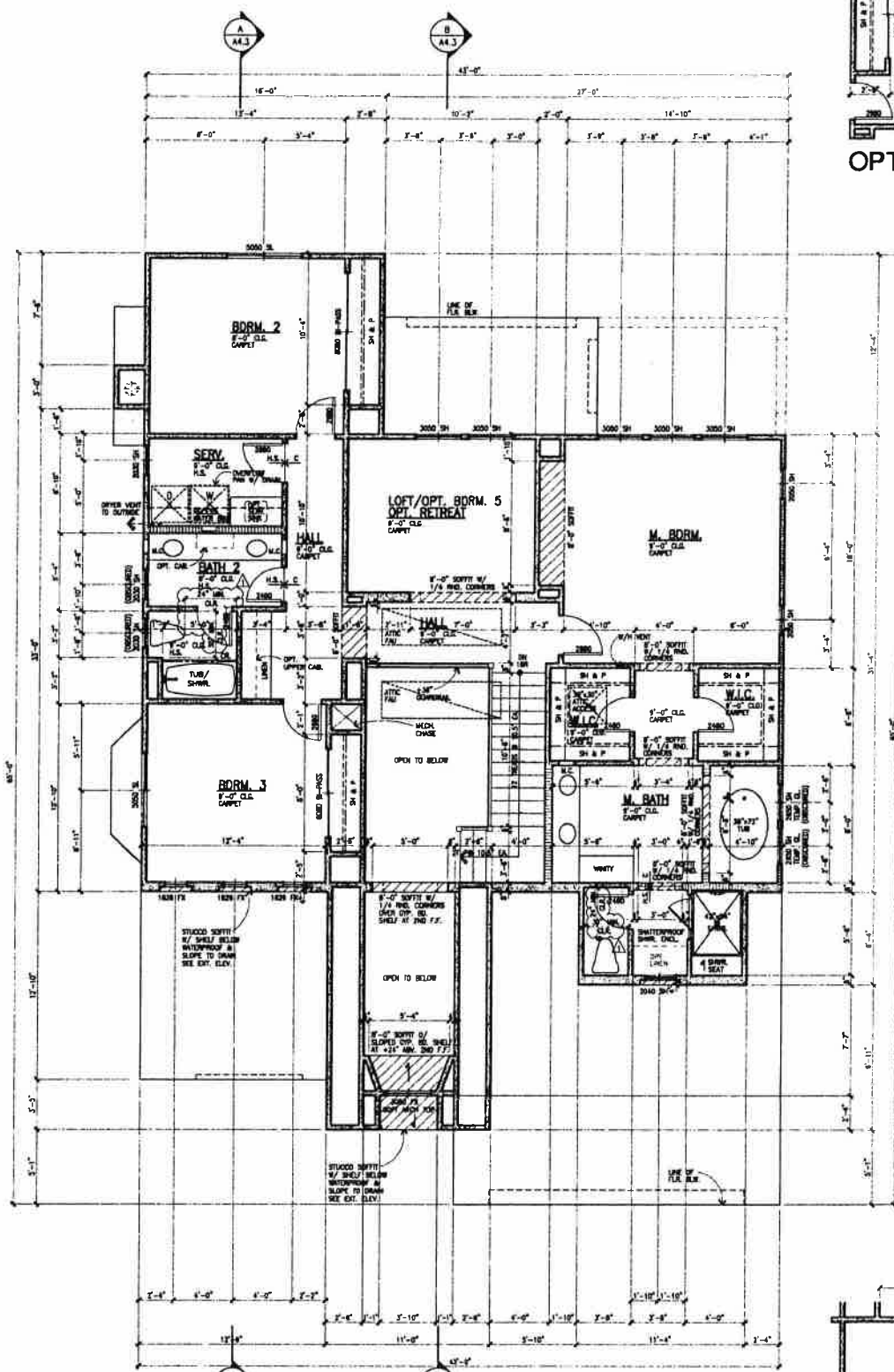
2-27-04 SECOND BLDG. DEPT. SUBMITTAL



OPT. BDRM. 5

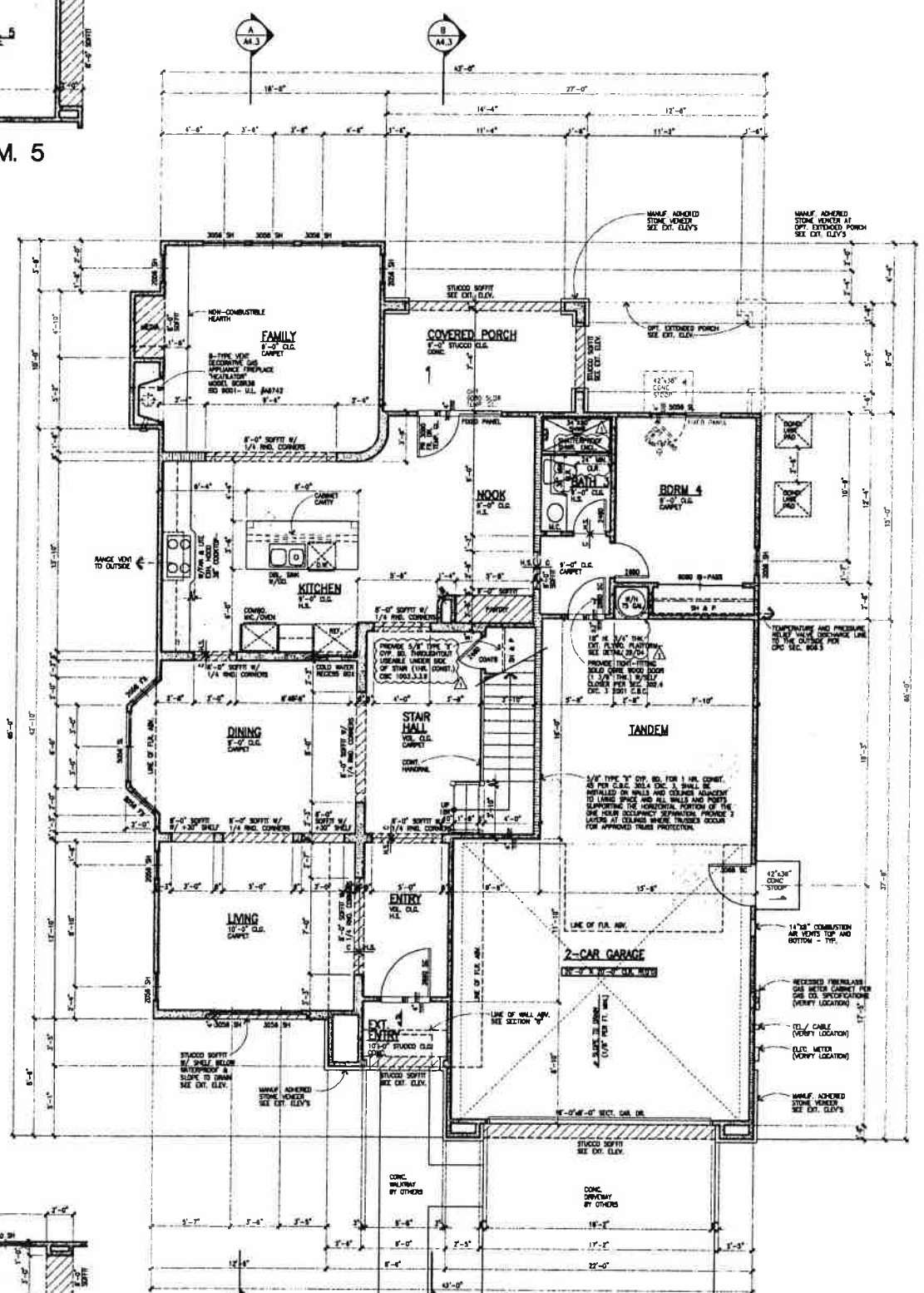


OPT. RETREAT



FLOOR PLAN NOTES
 1. OFFICE ACCESS, DRAFTING AND VENTILATION. PER C.I.C. SECTION 1305.
 2. SEE C.I.C. SECTION 1304 FOR ACCESS, EGRESS FACILITIES AND EMERGENCY ESCAPES.
 3. SAFETY GLAZING. PER C.I.C. SECTION 2408.
 4. FACTORY-BUILT CABINETS AND FIXTURES. PER C.I.C. SECTION 1102.3.
 5. COMBUSTION AIR TO FORCED AIR UNIT. PER C.I.C. CHAPTER 7.
 6. COMBUSTION AIR TO WATER HEATER. PER C.I.C. SECTION 507.6.
 7. ENVIRONMENTAL AIR QUALITY. PER C.I.C. SECTION 504.
 8. MECHANICAL EQUIPMENT LOCATION AND DAMAGE PROTECTION. PER C.I.C. SECTION 506.
 9. WATER HEATER PROTECTION FROM OVERHEAT. PER C.I.C. SECTION 510.2.
 10. WALL COVERING SHALL BE COVERED INSTANTLY BY AN APPROVED EQUAL TO OR ABOVE GRADE PAINT AS SPECIFIED ON THE FINISH SCHEDULE, UNLESS OTHERWISE NOTED. ELEMENTS TO BE VENTURE REMOVED. PER C.I.C. SECTION 507.3 AND 511.2.

UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE

AREA	AREA (SQ. FT.)
LOWER FLOOR PLAN	1586
UPPER FLOOR PLAN	1433
TOTAL	3019
GARAGE	889
COVERED REAR PORCH	119
OPT. COVERED PORCH	+181
FRONT EXT. ENTRY	38

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

WALNUT GROVE
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

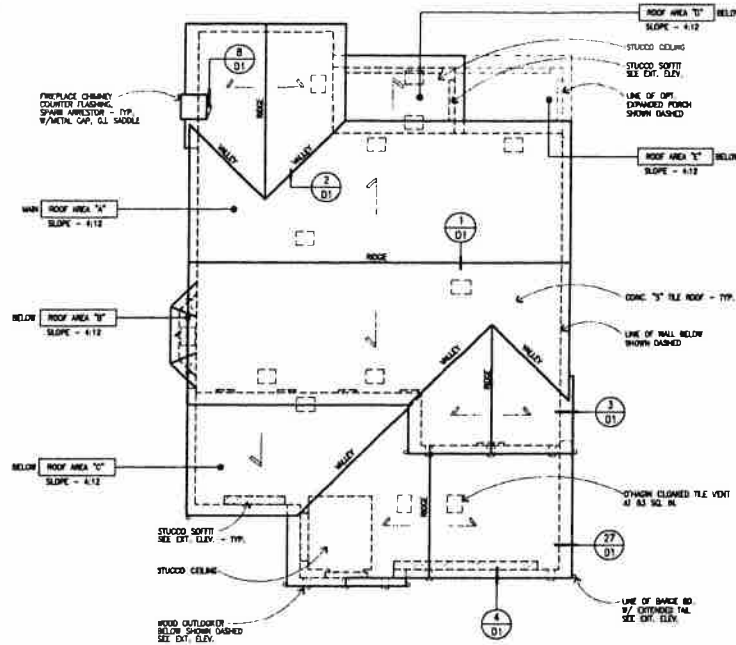
PLAN 4B - SPANISH TRADITIONAL

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NO.	DATE	DESCRIPTION
1	2-18-04	B. D. CORRECTIONS

PROJECT MANAGER	J.B.
DESIGNER	C.K.
DRAWN BY	J.B.
REVIEWED BY	J.B.
1ST BLDG. DEPT. SUBMITTAL	10-12-04
ISSUED FOR CONSTRUCTION	
JOB NUMBER	200156
CAD FILE NAME	01150402.DWG

DATE: 2-27-04 SHEET: A4.6



ATTE VENT REQUIREMENTS

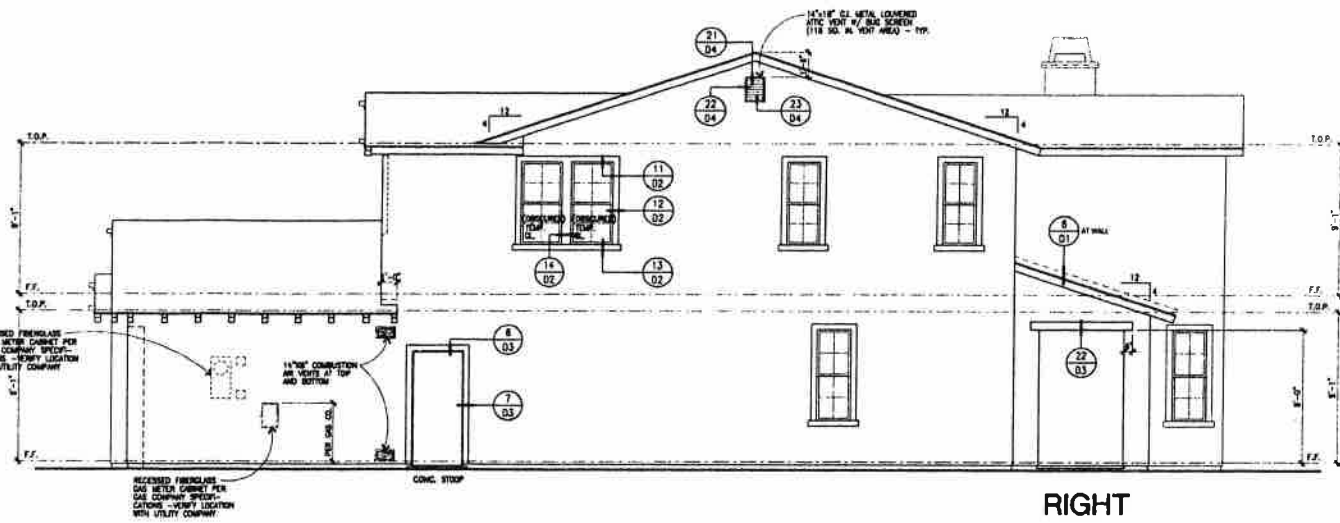
ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	ROOF AREA 'D'	ROOF AREA 'E'
1848.0 SQ.FT.	184.0 SQ.FT.	777.0 SQ.FT.	115.0 SQ.FT.	218.0 SQ.FT.
PROVIDED: (USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/150-LOW VENT ONLY)	PROVIDED: (USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)	PROVIDED: (USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)
CABLE VENTS: 330.0 SQ.IN. (1115.0 SQ. IN.)	CABLE VENTS: 33.0 SQ.IN. (111.5 SQ. IN.)	CABLE VENTS: 111.0 SQ.IN. (333.0 SQ. IN.)	CABLE VENTS: 23.0 SQ.IN. (69.0 SQ. IN.)	CABLE VENTS: 43.0 SQ.IN. (129.0 SQ. IN.)
CORNER VENTS: 184.8 SQ.IN. (554.4 SQ. IN.)	CORNER VENTS: 18.4 SQ.IN. (55.2 SQ. IN.)	CORNER VENTS: 77.7 SQ.IN. (233.1 SQ. IN.)	CORNER VENTS: 11.5 SQ.IN. (34.5 SQ. IN.)	CORNER VENTS: 21.8 SQ.IN. (65.4 SQ. IN.)
UPPER PROVIDED: 384.0 SQ.IN.	UPPER PROVIDED: 38.4 SQ.IN.	UPPER PROVIDED: 158.7 SQ.IN.	UPPER PROVIDED: 34.5 SQ.IN.	UPPER PROVIDED: 64.8 SQ.IN.
UPPER REQUIRED: 384.0 SQ.IN.	UPPER REQUIRED: 38.4 SQ.IN.	UPPER REQUIRED: 158.7 SQ.IN.	UPPER REQUIRED: 34.5 SQ.IN.	UPPER REQUIRED: 64.8 SQ.IN.
EDGE VENTS: 111.0 SQ.IN. (333.0 SQ. IN.)	EDGE VENTS: 11.1 SQ.IN. (33.3 SQ. IN.)	EDGE VENTS: 44.4 SQ.IN. (133.2 SQ. IN.)	EDGE VENTS: 8.7 SQ.IN. (26.1 SQ. IN.)	EDGE VENTS: 16.7 SQ.IN. (50.1 SQ. IN.)
ALTERNATE VENTS: 111.0 SQ.IN. (333.0 SQ. IN.)	ALTERNATE VENTS: 11.1 SQ.IN. (33.3 SQ. IN.)	ALTERNATE VENTS: 44.4 SQ.IN. (133.2 SQ. IN.)	ALTERNATE VENTS: 8.7 SQ.IN. (26.1 SQ. IN.)	ALTERNATE VENTS: 16.7 SQ.IN. (50.1 SQ. IN.)
LOWER PROVIDED: 111.0 SQ.IN.	LOWER PROVIDED: 11.1 SQ.IN.	LOWER PROVIDED: 44.4 SQ.IN.	LOWER PROVIDED: 8.7 SQ.IN.	LOWER PROVIDED: 16.7 SQ.IN.
LOWER REQUIRED: 111.0 SQ.IN.	LOWER REQUIRED: 11.1 SQ.IN.	LOWER REQUIRED: 44.4 SQ.IN.	LOWER REQUIRED: 8.7 SQ.IN.	LOWER REQUIRED: 16.7 SQ.IN.
TOTAL PROVIDED: 811.0 SQ.IN.	TOTAL PROVIDED: 81.0 SQ.IN.	TOTAL PROVIDED: 322.2 SQ.IN.	TOTAL PROVIDED: 43.2 SQ.IN.	TOTAL PROVIDED: 81.5 SQ.IN.
TOTAL REQUIRED: 780.0 SQ.IN.	TOTAL REQUIRED: 78.0 SQ.IN.	TOTAL REQUIRED: 322.2 SQ.IN.	TOTAL REQUIRED: 43.2 SQ.IN.	TOTAL REQUIRED: 81.5 SQ.IN.

ROOF PLAN LEGEND
 INDICATES 4:12 SLOPE/DIRECTION
 INDICATES DOWNSLOPE IF REQUIRED
 INDICATES ROOF BUTTER IF REQUIRED
 INDICATES LINE OF OVERHANG
 INDICATES LINE OF STRUCTURE
 C.D. INDICATES CLEARED THE VENTILATION BY REQUIRED HESSET SCREEN

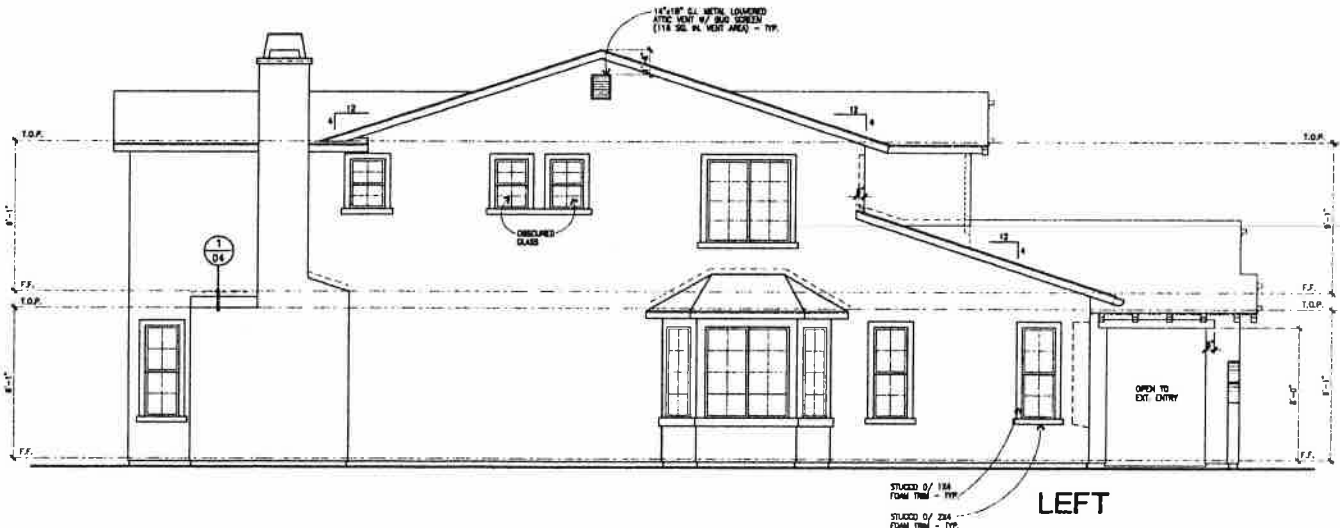
ROOF PLAN NOTES
 1. SEE GENERAL NOTES FOR ROOF WATER.
 2. SPAN ANCHORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 3. OVERHANGS 1/2\"/>

ROOF PLAN

SCALE: 1/8" = 1'-0"



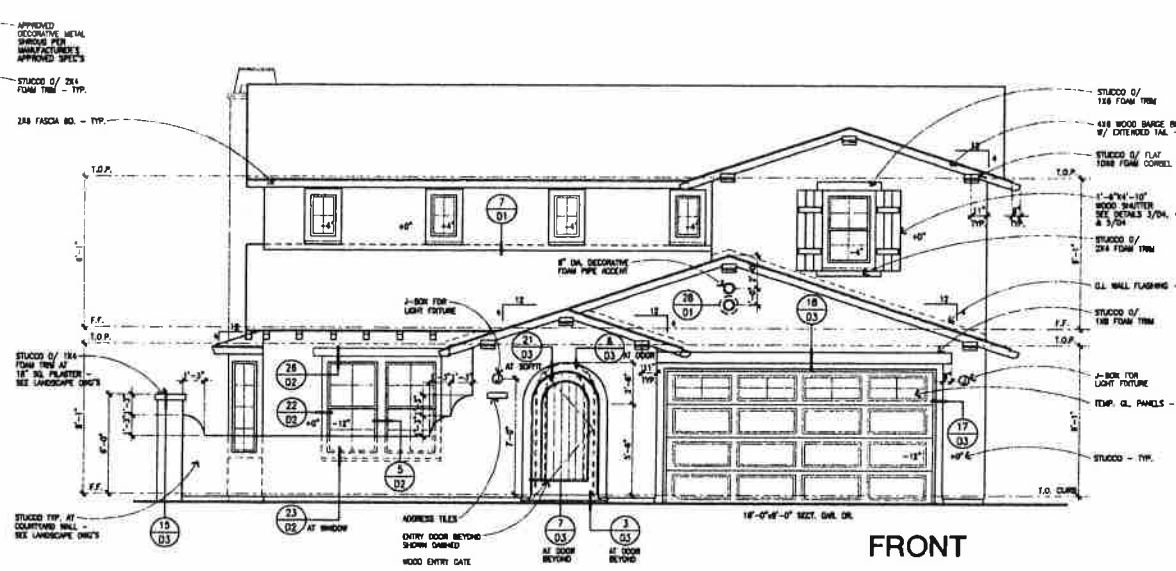
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LEFT



REAR

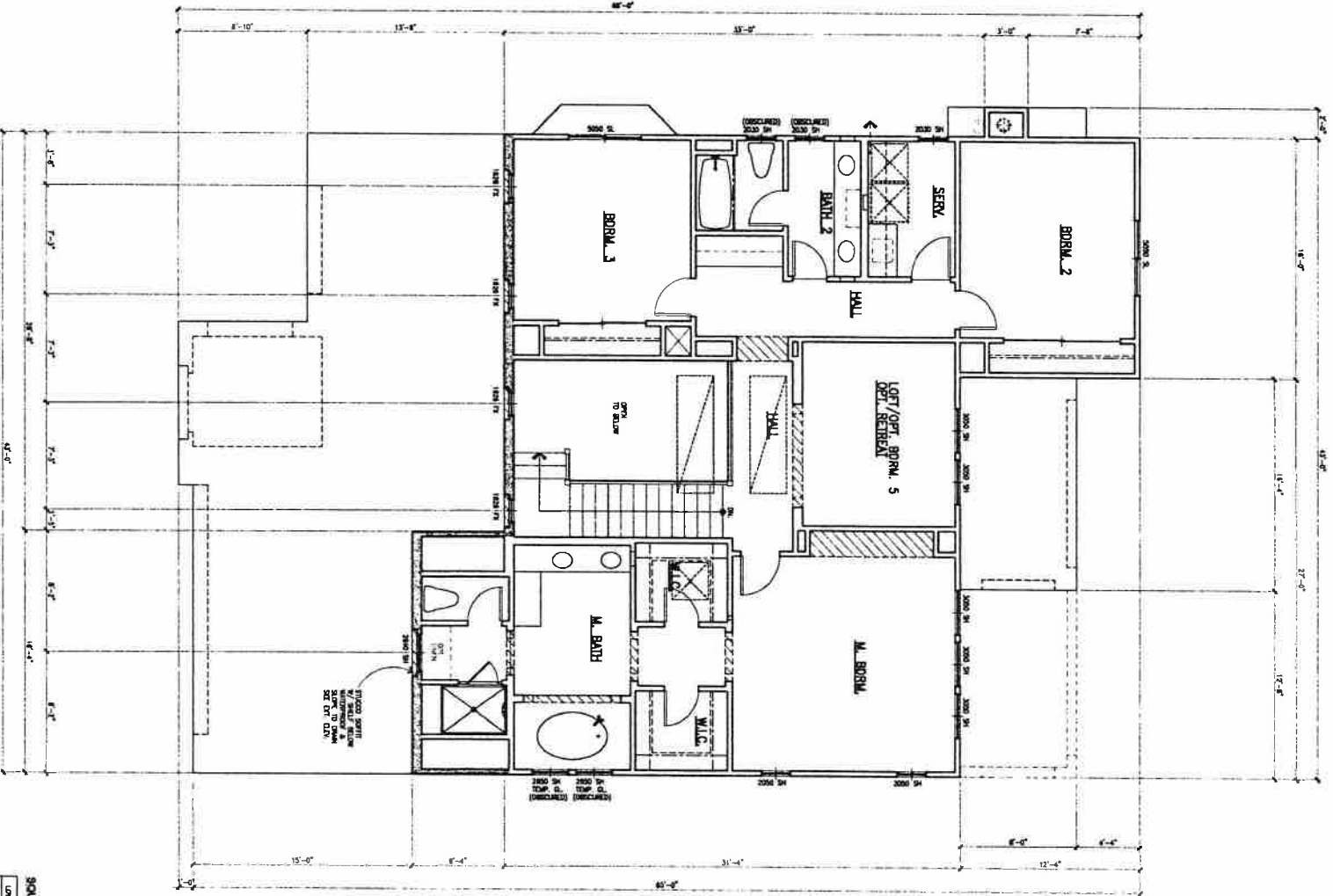


FRONT

EXTERIOR ELEVATIONS - PLAN 4B - SPANISH TRADITIONAL

MAR 02 2004
 SCALE: 1/4" = 1'-0"

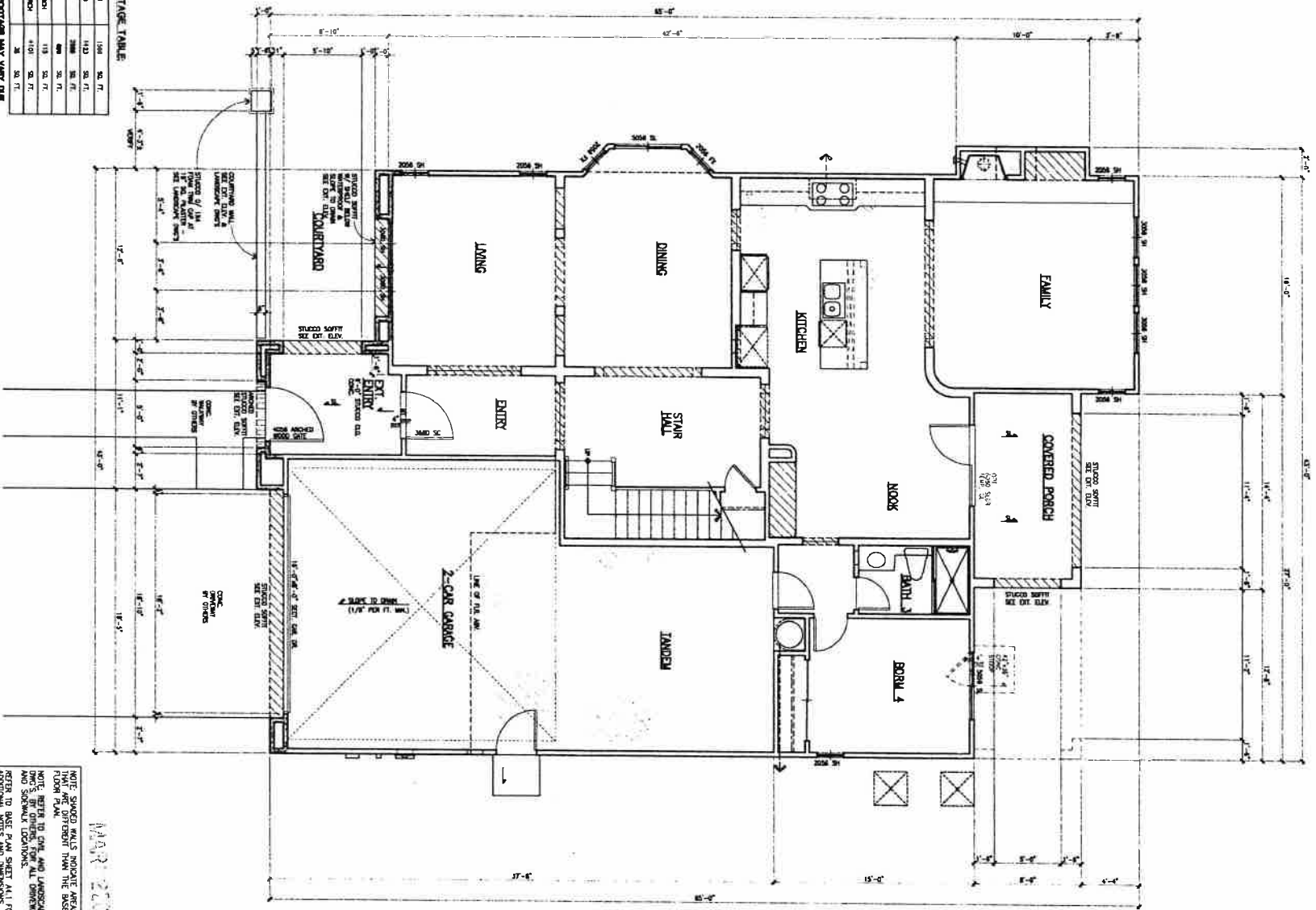
ADDENDA FLOOR PLANS - PLAN 4B - SPANISH TRADITIONAL



SQUARE FOOTAGE TABLE

LOFT AREA NAME	AREA	AREA
LOFT AREA NAME	143.0	33.71
TOTAL	286.0	33.71
COVERED PORCH	40.0	33.71
PER COVERED PORCH	110.0	33.71
TOTAL COVERED PORCH	33.0	33.71

NOTE: SQUARE FOOTAGE MAY VARY FROM TO METHOD OF CALCULATION



SCALE: 1/4" = 1'-0"

PLAN 4B - SPANISH TRADITIONAL

WALNUT GROVE
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Walnut Grove
Exhibits F2

TRACT #5182
S.F.D.

WILLIAM HEZMALALCH
ARCHITECTS, INC.
2071-10TH STREET, SUITE 200, SIMI VALLEY, CA 91386
TEL: (805) 709-1100
FAX: (805) 709-1175



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NO. DATE DESCRIPTION

REVISIONS

PROJECT LOCATION: J.B.

DESIGNER: D.R.

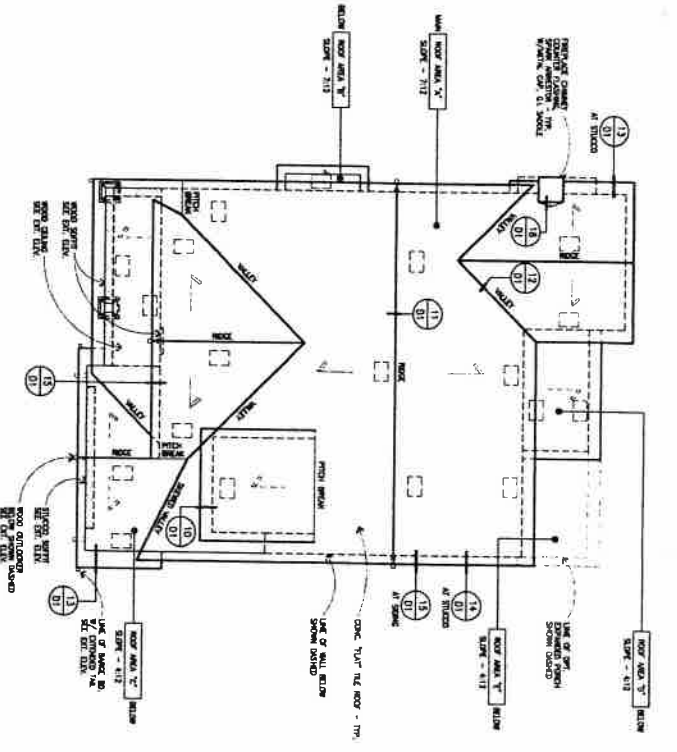
DATE: 2-27-04

SCALE: A4.5

DATE: 2-27-04

SHEET: A4.5

2-27-04 SECOND BLDG. DEPT. SUBMITTAL

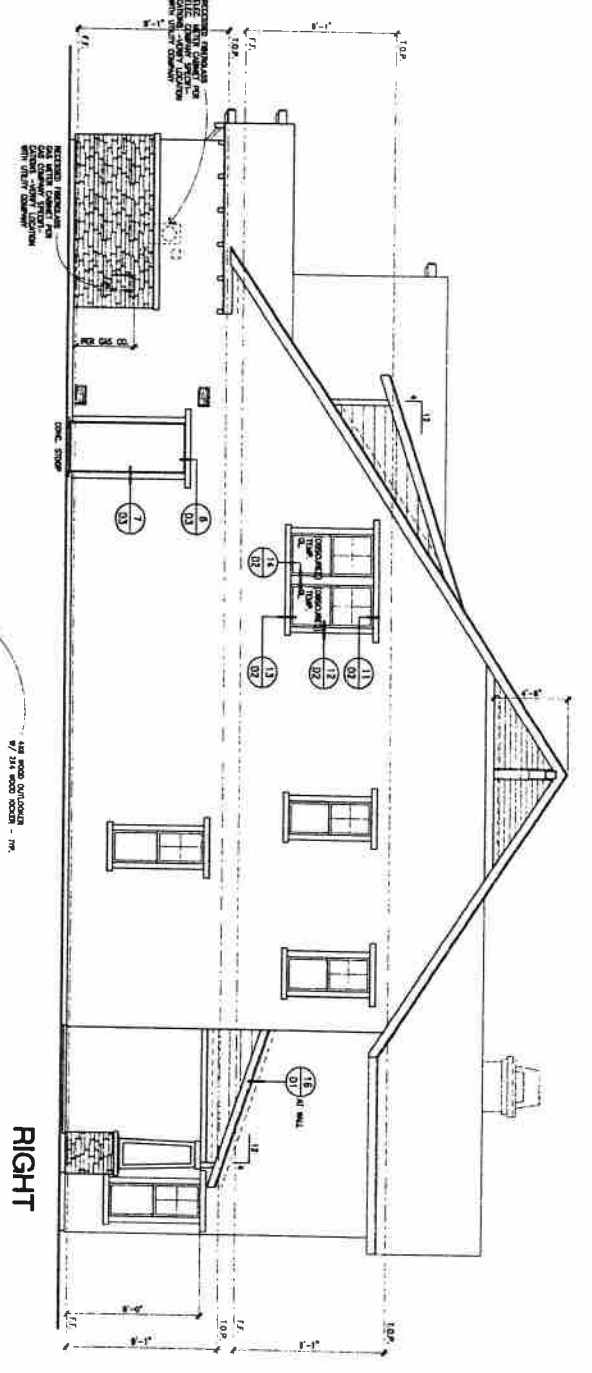


ROOF AREA SCHEDULE

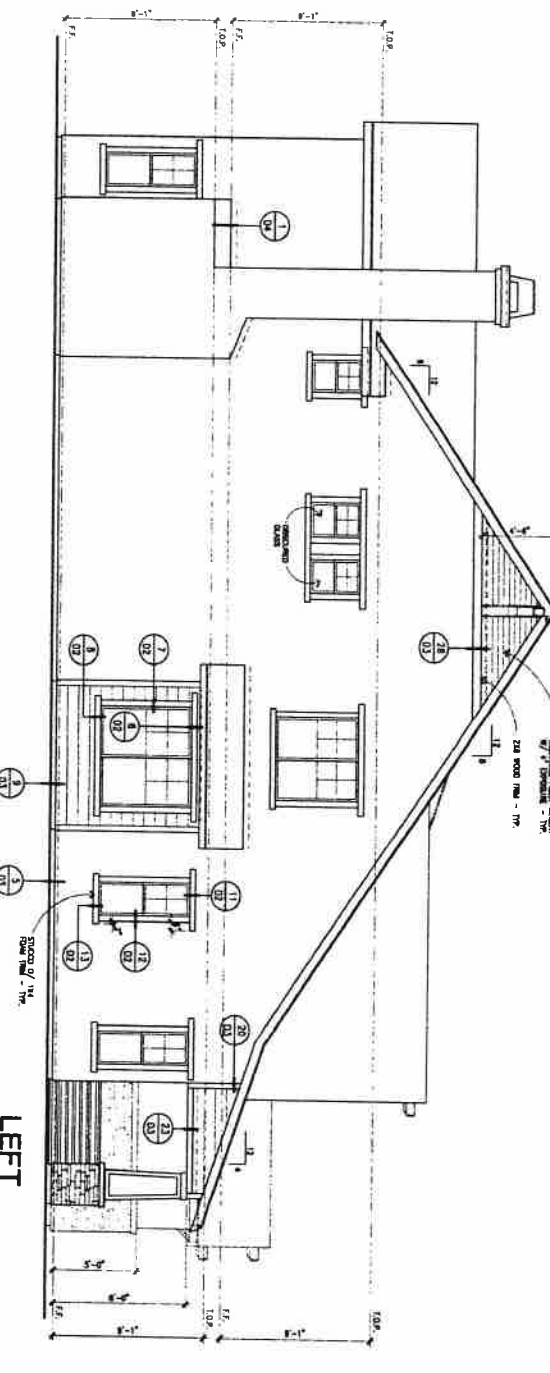
NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YD.)
1	WOOD SHAKE	1184.00	136.00
2	WOOD SHAKE	1184.00	136.00
3	WOOD SHAKE	1184.00	136.00
4	WOOD SHAKE	1184.00	136.00
5	WOOD SHAKE	1184.00	136.00
6	WOOD SHAKE	1184.00	136.00
7	WOOD SHAKE	1184.00	136.00
8	WOOD SHAKE	1184.00	136.00
9	WOOD SHAKE	1184.00	136.00
10	WOOD SHAKE	1184.00	136.00
11	WOOD SHAKE	1184.00	136.00
12	WOOD SHAKE	1184.00	136.00
13	WOOD SHAKE	1184.00	136.00
14	WOOD SHAKE	1184.00	136.00
15	WOOD SHAKE	1184.00	136.00
16	WOOD SHAKE	1184.00	136.00
17	WOOD SHAKE	1184.00	136.00
18	WOOD SHAKE	1184.00	136.00
19	WOOD SHAKE	1184.00	136.00
20	WOOD SHAKE	1184.00	136.00
21	WOOD SHAKE	1184.00	136.00
22	WOOD SHAKE	1184.00	136.00
23	WOOD SHAKE	1184.00	136.00
24	WOOD SHAKE	1184.00	136.00
25	WOOD SHAKE	1184.00	136.00
26	WOOD SHAKE	1184.00	136.00
27	WOOD SHAKE	1184.00	136.00
28	WOOD SHAKE	1184.00	136.00
29	WOOD SHAKE	1184.00	136.00
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34	WOOD SHAKE	1184.00	136.00
35	WOOD SHAKE	1184.00	136.00
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41	WOOD SHAKE	1184.00	136.00
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44	WOOD SHAKE	1184.00	136.00
45	WOOD SHAKE	1184.00	136.00
46	WOOD SHAKE	1184.00	136.00
47	WOOD SHAKE	1184.00	136.00
48	WOOD SHAKE	1184.00	136.00
49	WOOD SHAKE	1184.00	136.00
50	WOOD SHAKE	1184.00	136.00

ROOF PLAN

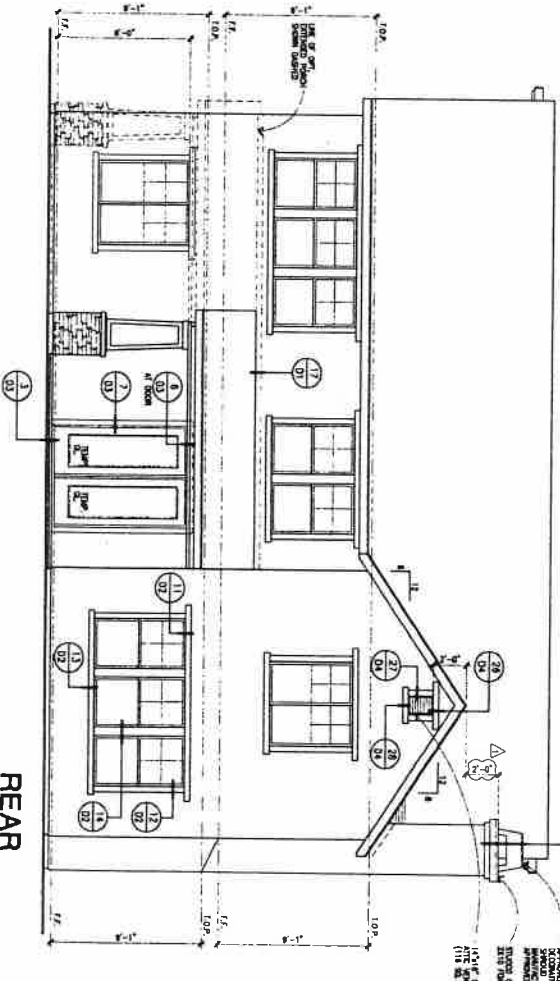
SCALE: 1/8" = 1'-0"



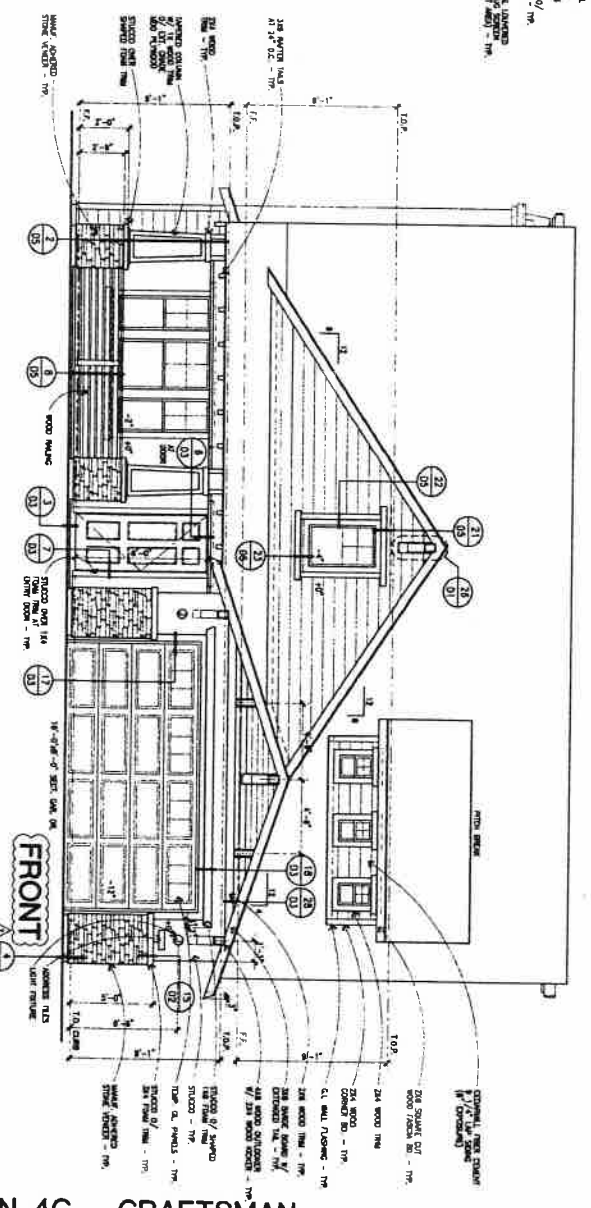
RIGHT



LEFT



REAR



FRONT

PLAN 4C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

WALNUT GROVE
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. **PD-S-939 ADJ 1**
Village E - Walnut Grove
Exhibits B3

TRACT #5182
S.F.D.

WILLIAM HEZMALHALCH
ARCHITECTS INC.
3011-10TH AVENUE SUITE 200
MILPITAS, CA 95035
TEL: 408.372.1175

NO.	DATE	DESCRIPTION
1	2-18-04	B.O. CONSTRUCTION
2	3-22-04	CLIENT REV. - TRANSMISSION

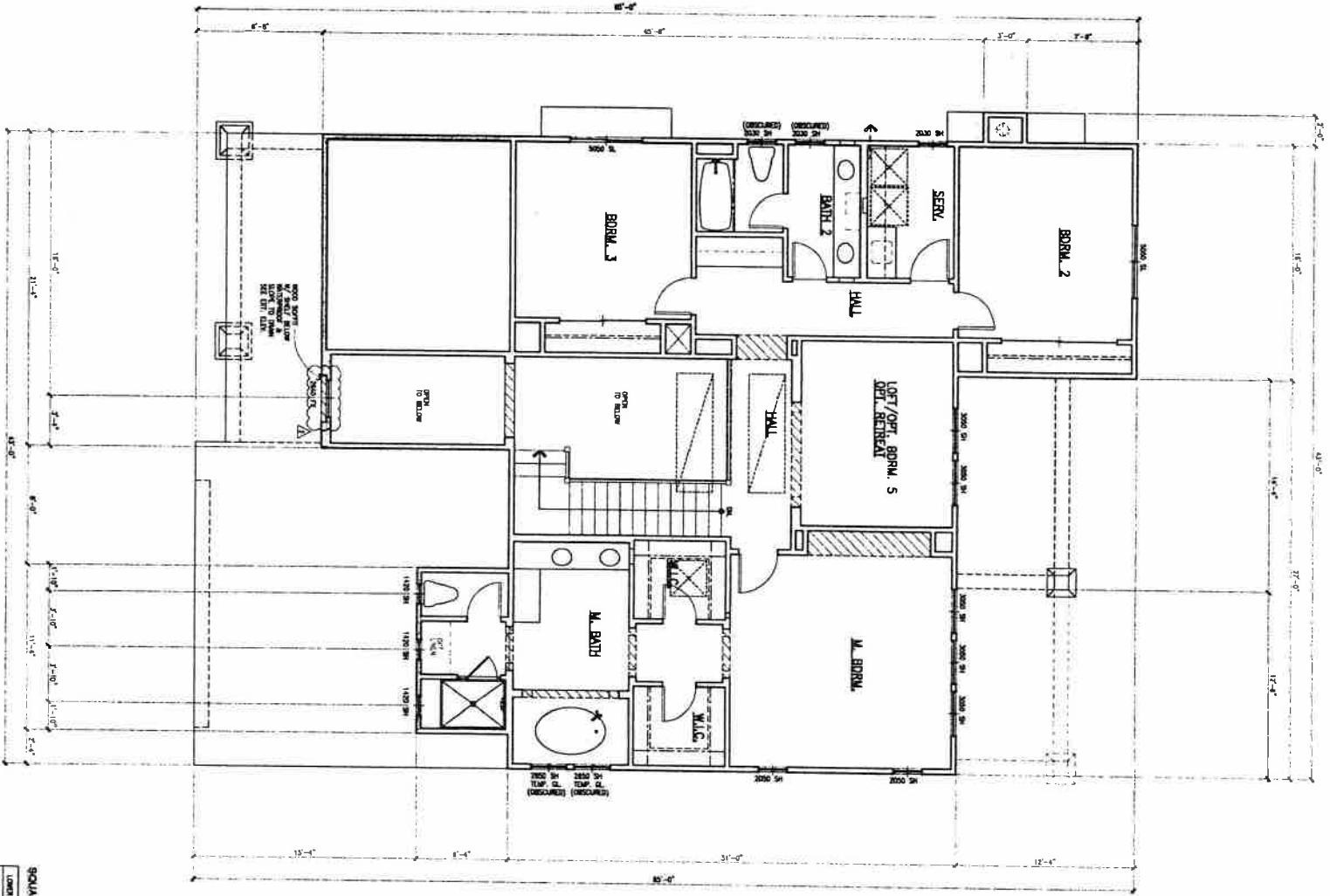
REVISIONS

PROJECT NUMBER	REVISION	DATE
4-29-04	A4.8	4-29-04

DATE: 4-29-04 SHEET: A4.8

4-29-04 "CRAFTSMAN" ELEV. REVISION

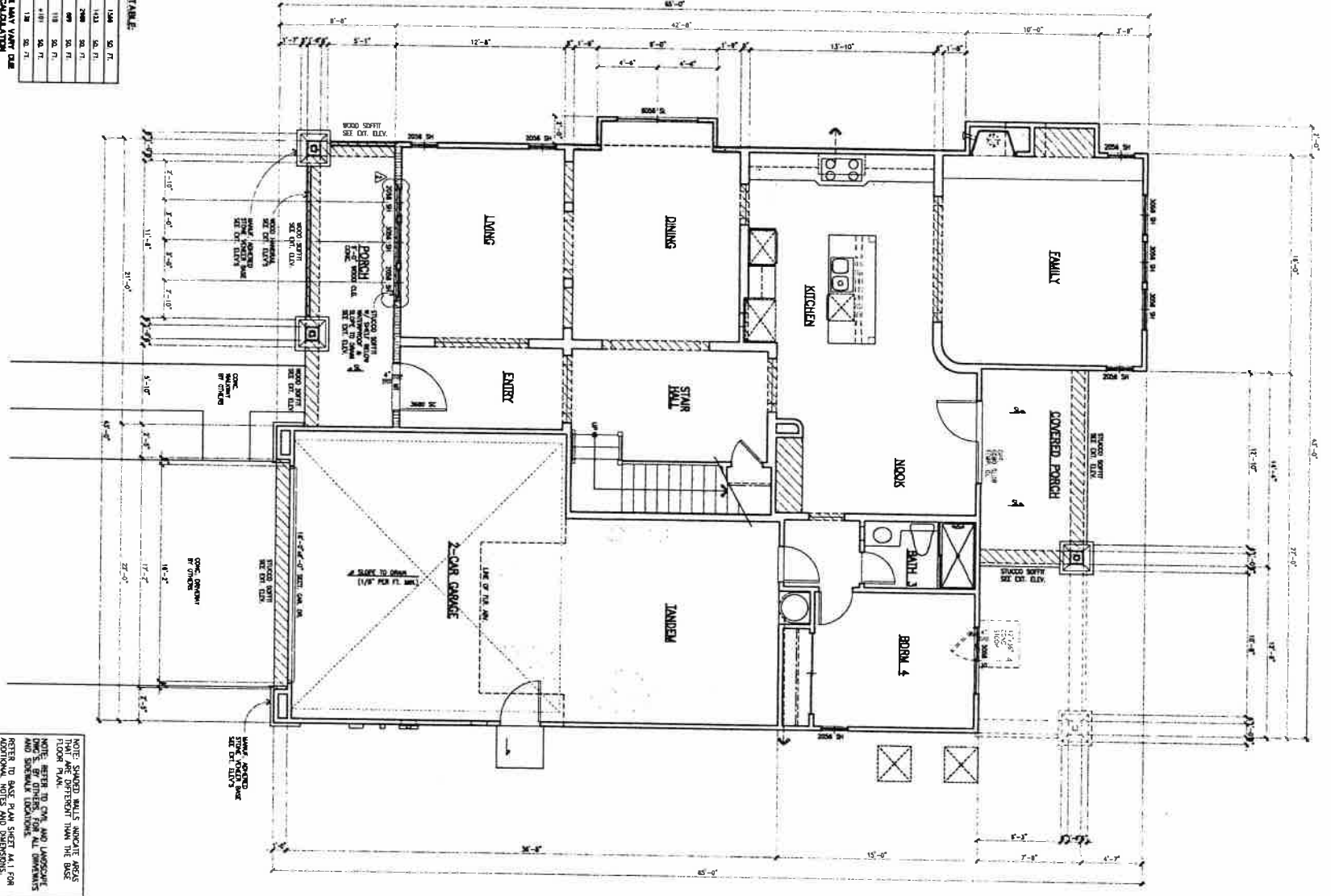
ADDENDA FLOOR PLANS - PLAN 4C - CRAFTSMAN



SQUARE FOOTAGE TABLE

LOWER LEVEL FWH	1344	SQ. FT.
UPPER LEVEL FWH	1113	SQ. FT.
TOTAL	2457	SQ. FT.
COVERED PORCH	99	SQ. FT.
UNCOVERED PORCH	118	SQ. FT.
TOTAL PORCH	217	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PLAN 4C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

DATE: 4-29-04

SHEET: A4.7

4-29-04 "CRAFTSMAN" ELEV. REVISION

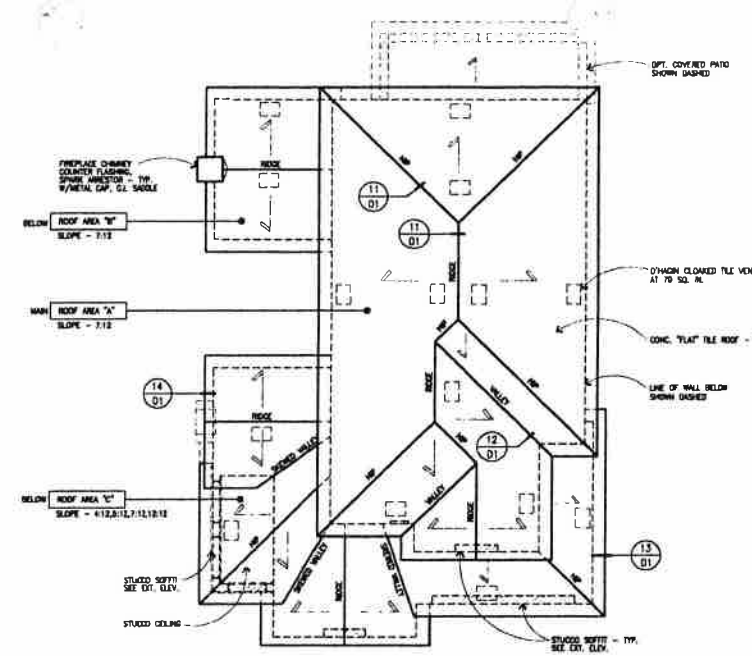
WALNUT GROVE
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Walnut Grove
Exhibits F3

TRACT #5182
S.F.D.

WILLIAM HEZMALNATCH
ARCHITECTS
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949.252.8001 www.hezmalnatch.com fax 949.252.1254
1101 GARDNER ROAD, SUITE 200, RIVERSIDE, CA 92507
951.503.1900



ROOF PLAN LEGEND

- INDICATES 7:12 SLOPE/DIRECTION
- INDICATES 4:12 SLOPE/DIRECTION
- INDICATES 3:12 SLOPE/DIRECTION
- INDICATES 12:12 SLOPE/DIRECTION

ROOF PLAN NOTES

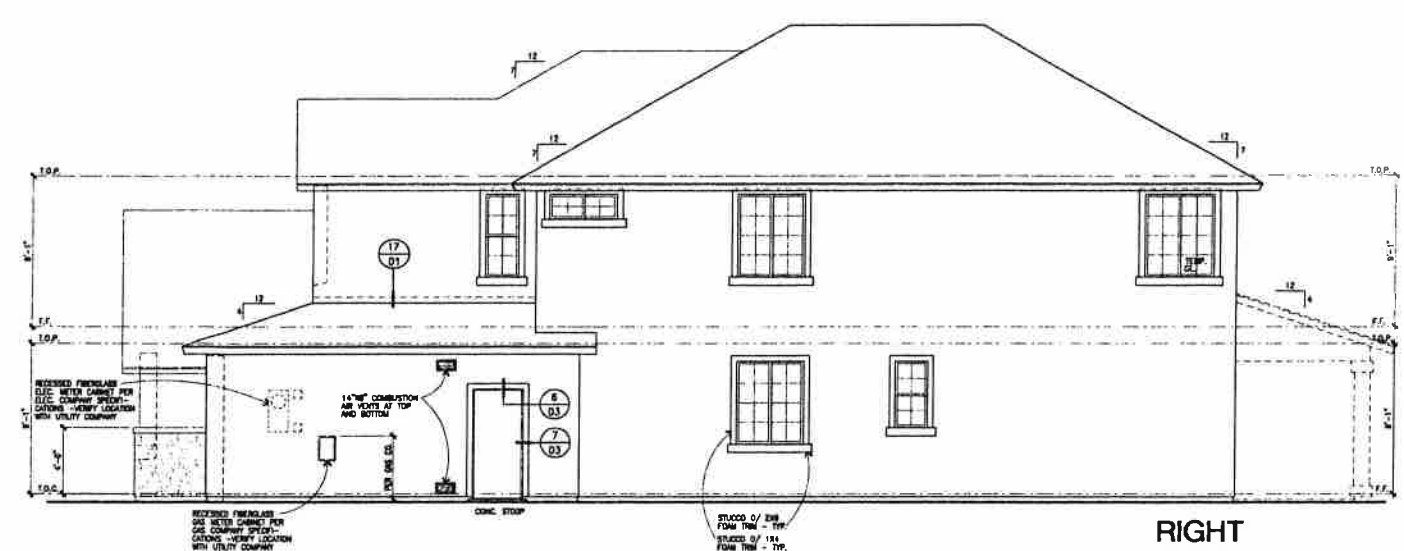
- SEE GENERAL NOTES FOR ROOF NOTES.
- SPRINKLE ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- OVERHANGS: 18" AT EAVE CONDITIONAL (TYP. UNLESS NOTED OTHERWISE). AT GABLE CORNERS (TYP. UNLESS NOTED OTHERWISE).
- PROVIDE ATIC & GUTTER OVERLAP AS PER SECTION 1505.7 OF CALIFORNIA BUILDING CODE.

ATIC VENT REQUIREMENTS

ROOF AREA "A"	ROOF AREA "B"	ROOF AREA "C"
ATIC AREA: 1337.0 SQ.FT.	233.0 SQ.FT.	771.0 SQ.FT.
PROVIDED: (USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/300-HIGH & LOW SIZE REQUIRED AT UPPER 1/3 OF ROOF AREA)
GABLE VENTS: 85.0 SQ.FT. (8 GABLE VENTS) AT 82.0 SQ.FT. R.C.	0.0 SQ.FT. (0 GABLE VENTS) AT 100.0 SQ.FT. R.C.	108.0 SQ.FT. (8 GABLE VENTS) AT 108.0 SQ.FT. R.C.
SOMMER VENTS: 312.0 SQ.FT. (8 SOMMER VENTS) AT 79.0 SQ.FT. R.C.	79.0 SQ.FT. (8 SOMMER VENTS) AT 79.0 SQ.FT. R.C.	79.0 SQ.FT. (8 SOMMER VENTS) AT 79.0 SQ.FT. R.C.
UPPER PROVIDED: 397.0 SQ.FT.	79.0 SQ.FT.	187.0 SQ.FT.
UPPER REQUIRED: 397.0 SQ.FT.	79.0 SQ.FT.	187.0 SQ.FT.
EAVE VENTS: 22.0 SQ.FT. (8 EAVE VENTS) AT 10.0 SQ.FT. R.C.	0.0 SQ.FT. (0 EAVE VENTS) AT 10.0 SQ.FT. R.C.	22.0 SQ.FT. (8 EAVE VENTS) AT 10.0 SQ.FT. R.C.
ALTERNATE VENT(S): 0.0 SQ.FT. (0 ALTERNATE VENT(S) AT 0.0 SQ.FT. R.C.)	0.0 SQ.FT. (0 ALTERNATE VENT(S) AT 0.0 SQ.FT. R.C.)	0.0 SQ.FT. (0 ALTERNATE VENT(S) AT 0.0 SQ.FT. R.C.)
LOWER PROVIDED: 397.0 SQ.FT.	79.0 SQ.FT.	187.0 SQ.FT.
LOWER REQUIRED: 397.0 SQ.FT.	79.0 SQ.FT.	187.0 SQ.FT.
TOTAL PROVIDED: 794.0 SQ.FT.	158.0 SQ.FT.	374.0 SQ.FT.
TOTAL REQUIRED: 794.0 SQ.FT.	158.0 SQ.FT.	374.0 SQ.FT.

ROOF PLAN

SCALE: 1/8" = 1'-0"



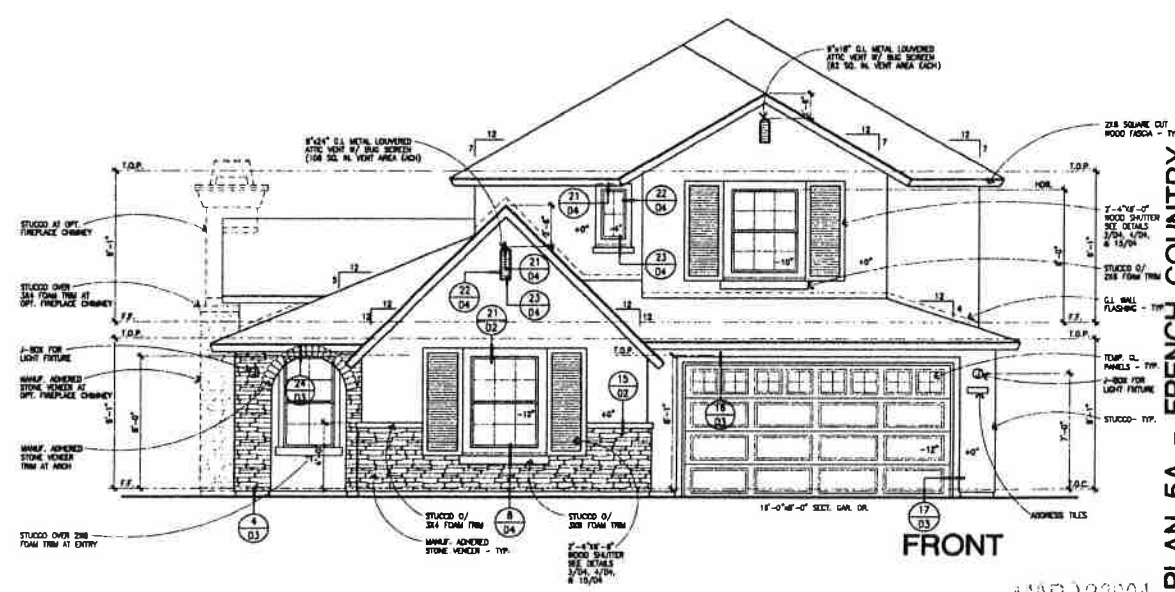
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS - PLAN 5A - FRENCH COUNTRY

DATE: 2-27-04
 SHEET: A5.4
 SCALE: 1/4" = 1'-0"

WILLIAM HEZMALHALCH ARCHITECTS INC.
 260 REDHILL AVENUE, SUITE 200, SANTA ANA, CA 92705-5543
 949.755.1837 www.hezmalhalch.com fax 949.256.1529
 3075 HOPKIND ROAD, SUITE 205, PLEASANTON, CA 94566-4577
 925.483.1700 fax 925.483.1725

TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-939 ADJ.1
 Village E - Walnut Grove
 Exhibits B4

WALNUT GROVE
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

PLAN 5A - FRENCH COUNTRY

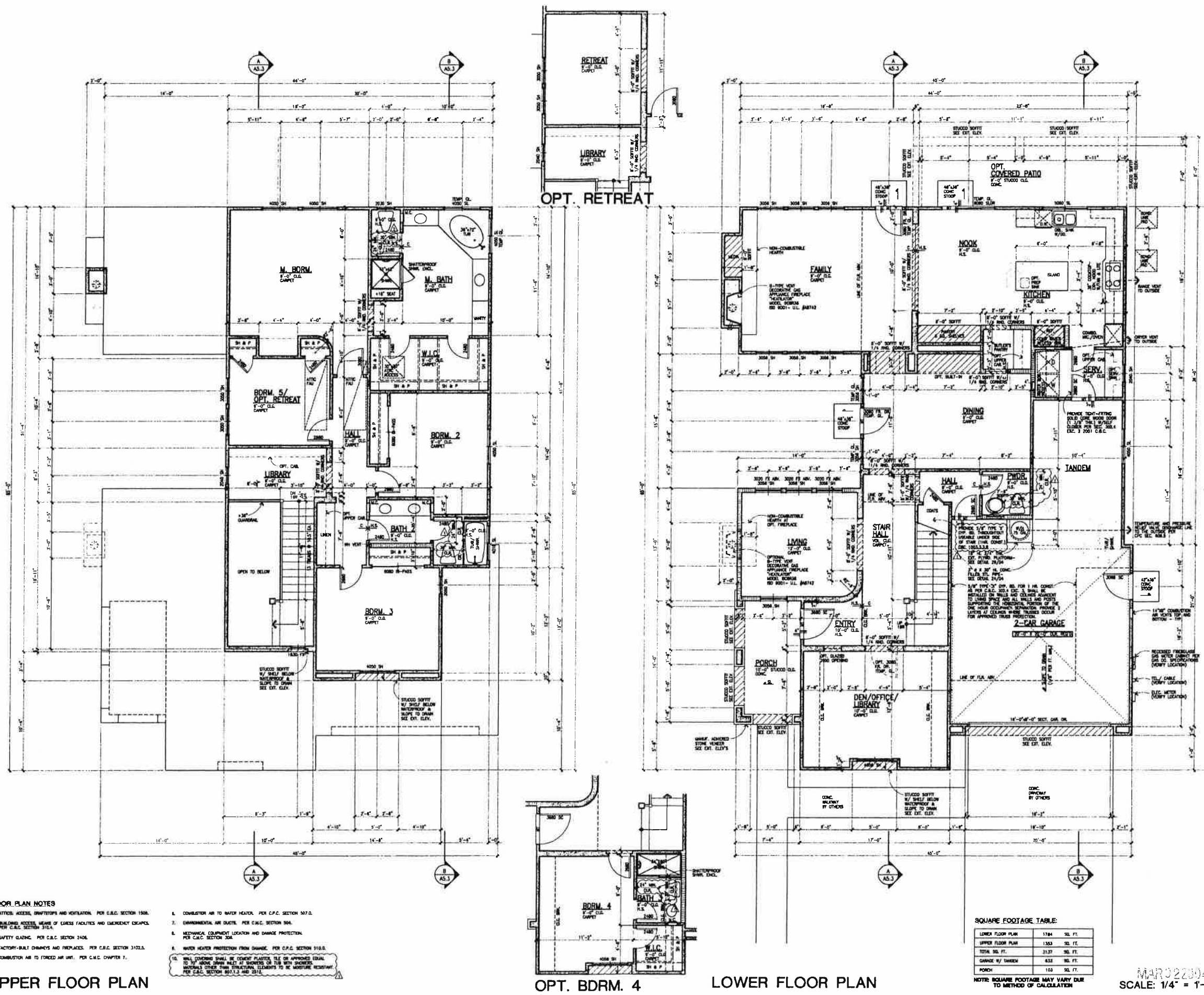
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DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	2-18-04	B. D. CORRECTIONS

PROJECT MANAGER	J. B.
DESIGNER	G. R.
DRAWN BY	J. B.
REVIEWED BY	J. B.
1ST BLDG. DEPT. SUBMITTAL	10-13-03
ISSUED FOR CONSTRUCTION	10-13-03
JOB NUMBER	2001150
CAD FILE NAME	01150A54.DWG

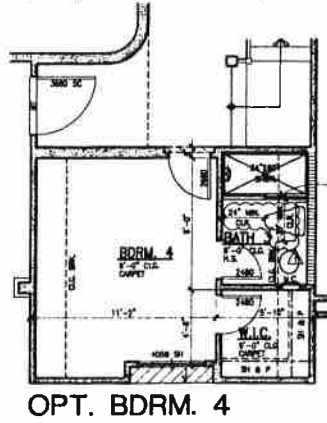
2-27-04 SECOND BLDG. DEPT. SUBMITTAL



FLOOR PLAN NOTES

1. ATTIC ACCESS, DRYTURNS AND VENTILATION. PER C.A.C. SECTION 1508.
2. BUILDING ACCESS, USES OF CARESS FACILITIES AND EMERGENCY ESCAPES. PER C.A.C. SECTION 3154.
3. SAFETY GLAZING. PER C.A.C. SECTION 2404.
4. FACTORY-BUILT CHIMNEYS AND REPLACES. PER C.A.C. SECTION 3102.4.
5. COMBUSTION AIR TO FORCED AIR UNIT. PER C.A.C. CHAPTER 7.
6. CONDENSATION AIR TO WATER HEATER. PER C.A.C. SECTION 307.0.
7. ENVIRONMENTAL AIR DUCTS. PER C.A.C. SECTION 306.
8. MECHANICAL EQUIPMENT LOCATION AND DAMAGE PROTECTION. PER C.A.C. SECTION 308.
9. WATER HEATER PROTECTION FROM DAMAGE. PER C.A.C. SECTION 310.0.
10. WALL, CEILING SHALL BE CONCRETE PLASTER, TILE OR APPROVED EQUAL TO 1/2" MIN. OVER SHEET AT JOINTS OF THE WITH SHOWN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. PER C.A.C. SECTION 302.3 AND 301.1.

UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE:

LOWER FLOOR PLAN	1784	SQ. FT.
UPPER FLOOR PLAN	1563	SQ. FT.
TOTAL SQ. FT.	3347	SQ. FT.
GARAGE W/ TAMEN	633	SQ. FT.
PORCH	103	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

PLAN 5A - FRENCH COUNTRY

REVISIONS

NO.	DATE	DESCRIPTION
1	2-18-04	S. D. CORRECTIONS

PROJECT MANAGER:	J. B.
DESIGNER:	C. R.
DRAWN BY:	J. B.
REVIEWED BY:	J. B.
1ST BLDG. DEPT. SUBMITTAL:	10-13-03
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	200130
CAD FILE NAME:	01150A01.DWG

DATE: 2-27-04 SHEET: A5.1

WALNUT GROVE
SIMI VALLEY, CALIFORNIA

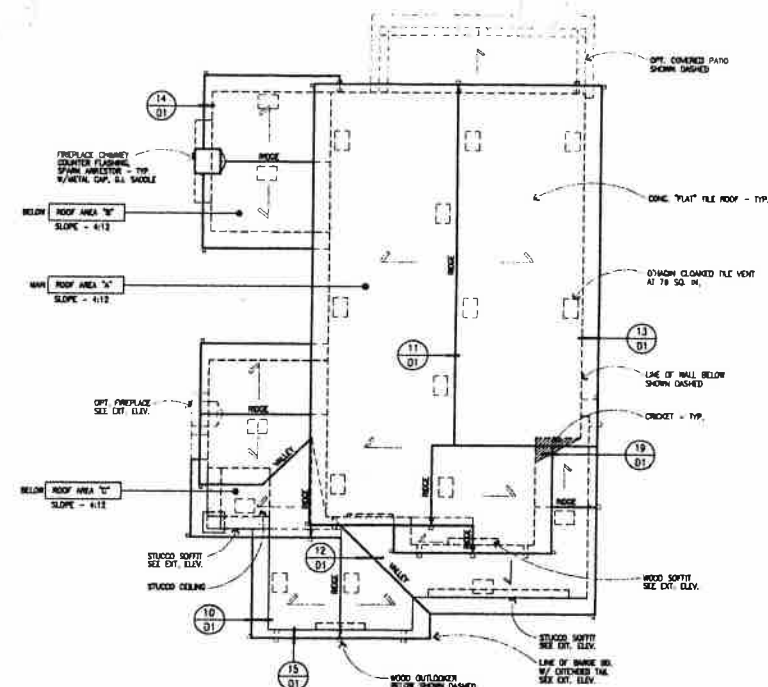
D. R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ.1
Village E - Walnut Grove
Exhibits E4

TRACT #5182
S.F.D.

W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
2640 RETINA AVENUE SUITE 200 SANTA ANA CA 92705-6443
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1415 HOPKINS ROAD SUITE 205 PLEASANTON CA 94566-8107
925 483 1700 fax 925 483 1725

2-27-04 SECOND BLDG. DEPT. SUBMITTAL



ROOF PLAN LEGEND

INDICATES 1/2 SLOPE/DIRECTION

ROOF PLAN NOTES

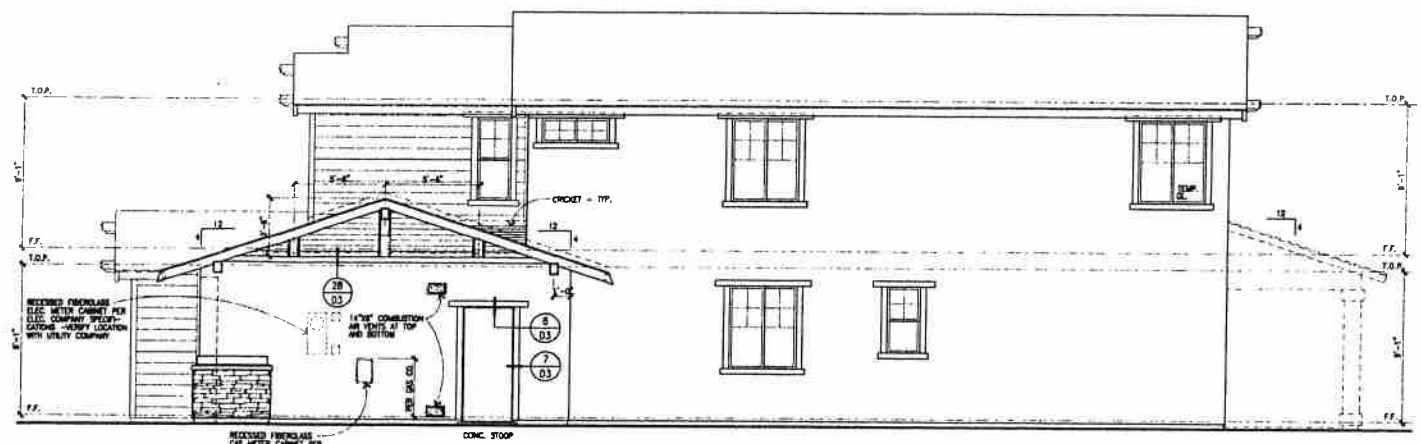
- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- OVERHEADS: 2" IF ONE CONDITION, 3" IF TWO CONDITIONS (LATEST NOTES OVERWRITE).
- PROVIDE ATIC & SOFFIT VENTILATION AS PER SECTION TABLES OF CALIFORNIA BUILDING CODE.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- INDICATES DOWNPOUT (IF REQUIRED), INDICATES ROOF GUTTER (IF REQUIRED), INDICATES LINE OF CHIMNEY, INDICATES LINE OF STRUCTURE.
- INDICATES CLOSED TILE VENTILATION IF REQUIRED (NEED SCREEN).

ATIC VENT MEASUREMENTS:

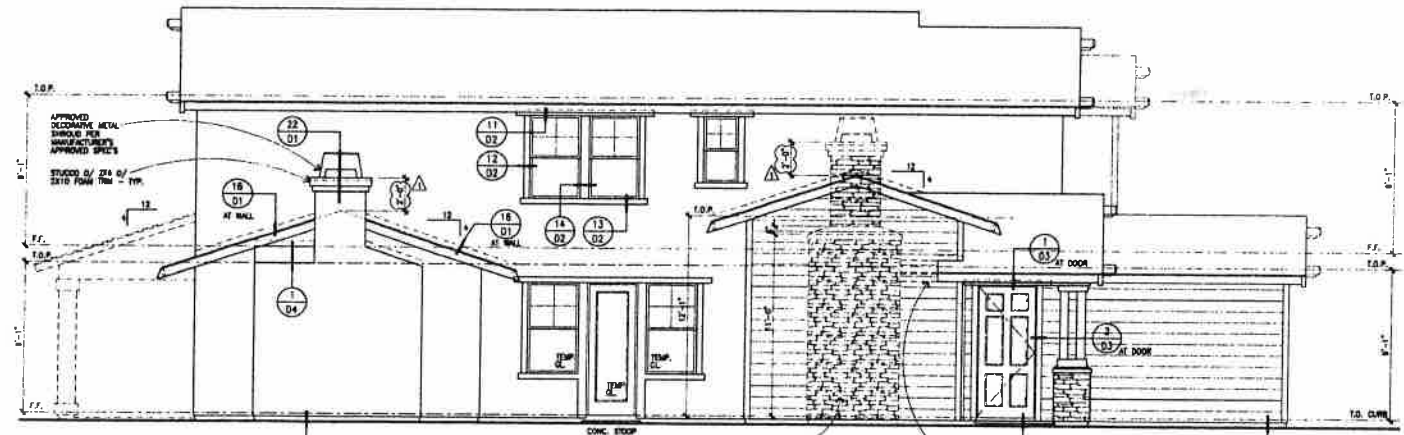
ATIC AREA	ROOF AREA "A"	ROOF AREA "B"	ROOF AREA "C"
1532.0 SQ.FT.	238.0 SQ.FT.	772.0 SQ.FT.	
(USE 1/200-HIGH & LOW SOFFIT REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/200-HIGH & LOW SOFFIT REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/200-HIGH & LOW SOFFIT REQUIRED AT UPPER 1/3 OF ROOF AREA)	
CABLE VENTS PROVIDED:	0.0 SQ.M. AT 0 SQ.M. H.	0.0 SQ.M. AT 0 SQ.M. H.	0.0 SQ.M. AT 0 SQ.M. H.
CORNER VENTS PROVIDED (HIGH):	28.0 SQ.M. AT 79.0 SQ.M. H.	28.0 SQ.M. AT 79.0 SQ.M. H.	28.0 SQ.M. AT 79.0 SQ.M. H.
UPPER PROVIDED:	246.0 SQ.M. AT 79.0 SQ.M. H.	246.0 SQ.M. AT 79.0 SQ.M. H.	246.0 SQ.M. AT 79.0 SQ.M. H.
EAVE VENTS PROVIDED (LOW):	0.0 SQ.M. AT 0.0 SQ.M. H.	0.0 SQ.M. AT 0.0 SQ.M. H.	0.0 SQ.M. AT 0.0 SQ.M. H.
ALTERNATE VENTS PROVIDED (LOW):	388.0 SQ.M. AT 79.0 SQ.M. H.	388.0 SQ.M. AT 79.0 SQ.M. H.	388.0 SQ.M. AT 79.0 SQ.M. H.
LOWER PROVIDED:	388.0 SQ.M. AT 79.0 SQ.M. H.	388.0 SQ.M. AT 79.0 SQ.M. H.	388.0 SQ.M. AT 79.0 SQ.M. H.
TOTAL PROVIDED:	790.0 SQ.M.	790.0 SQ.M.	790.0 SQ.M.
TOTAL REQUIRED:	790.0 SQ.M.	790.0 SQ.M.	790.0 SQ.M.

ROOF PLAN

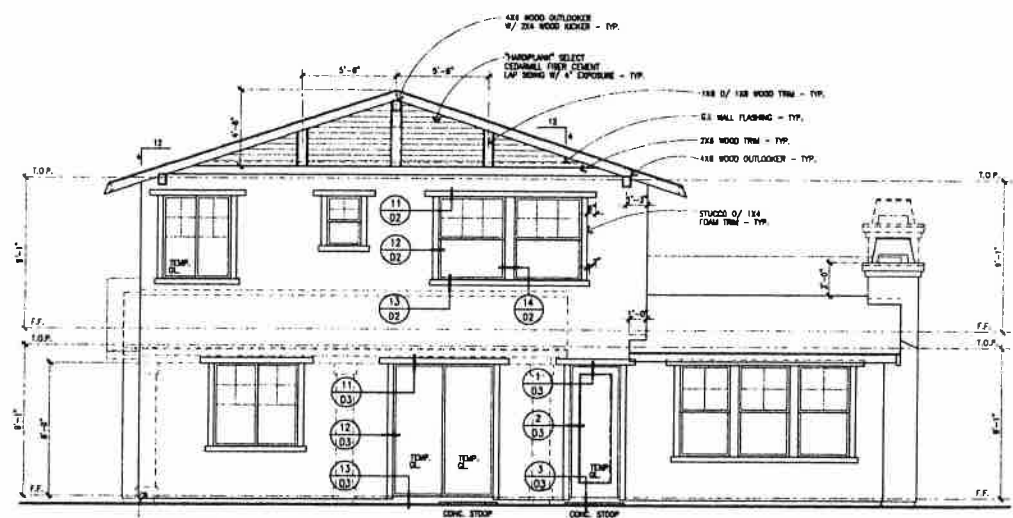
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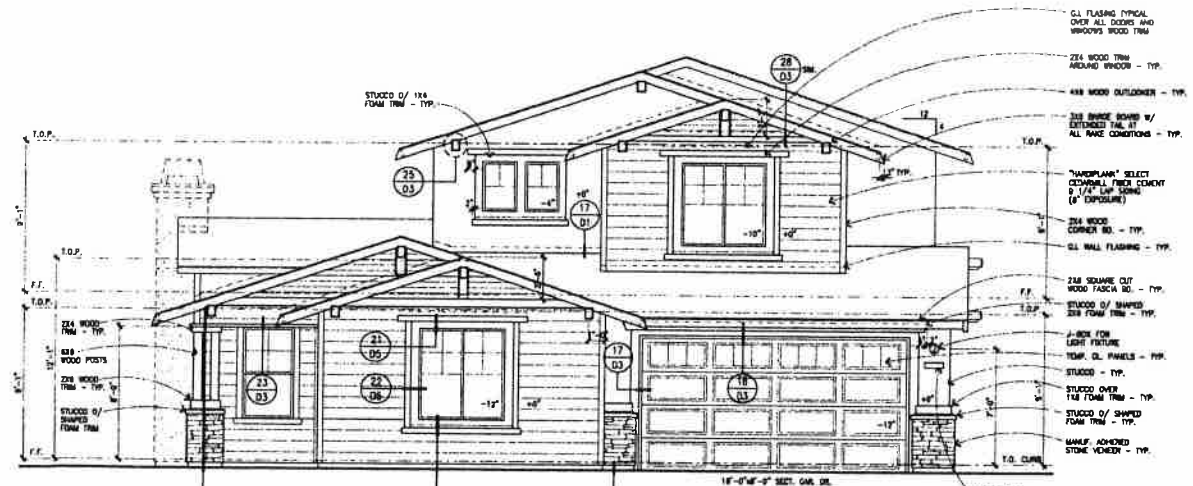
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS - PLAN 5C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

WILLIAM HEZMALHALCH ARCHITECTS, INC.
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 949.250.0807 www.whezharch.com tel: 949.230.1539
 2815 HOPKIN ROAD SUITE 125 PLEASANTON, CA 94588-8377
 925.463.1700

TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ.1
Village E - Walnut Grove
Exhibits B5

WALNUT GROVE
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION
1	2-18-04	B. D. CORRECTIONS
2	3-22-04	CLIENT REV. "CRAFTSMAN"

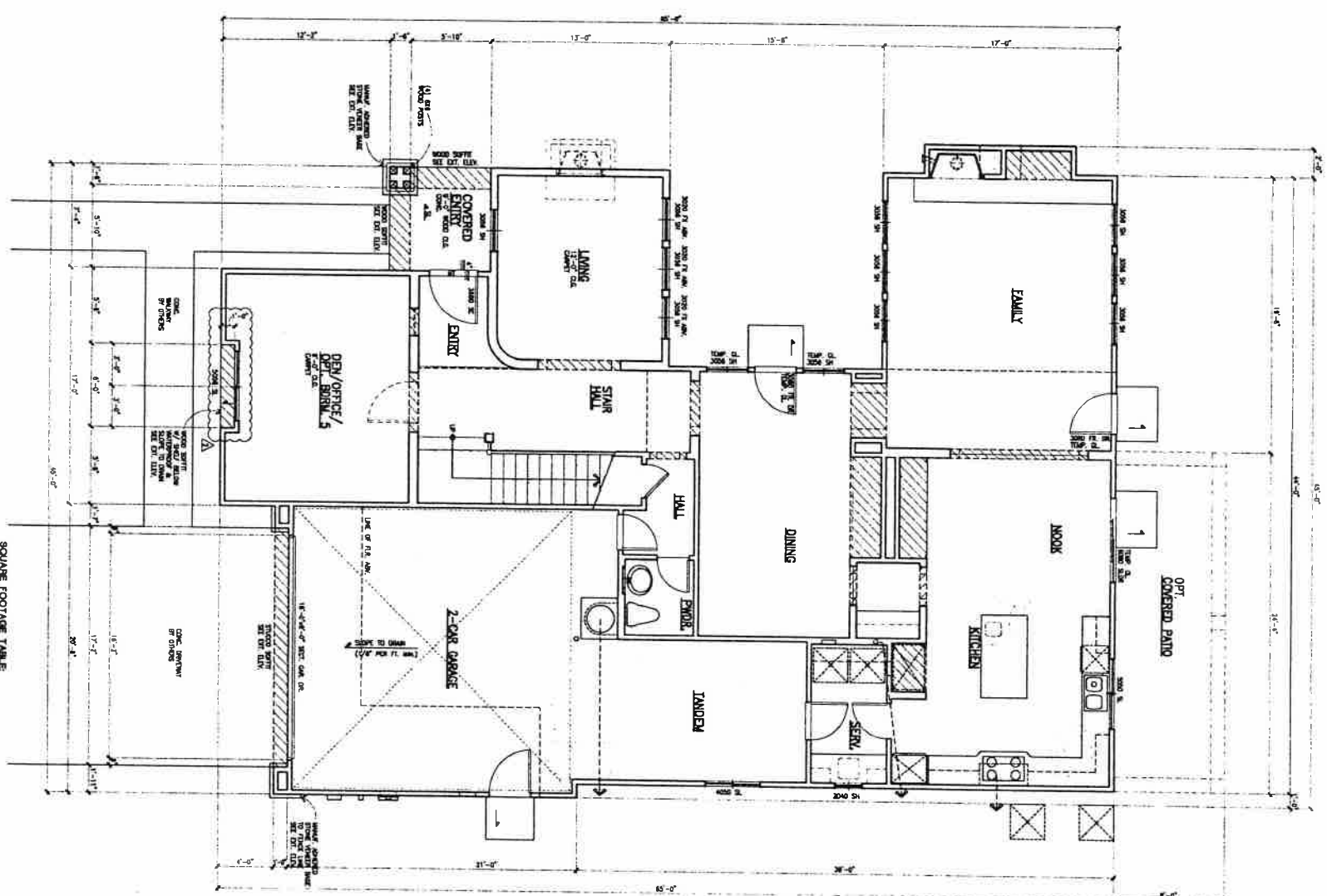
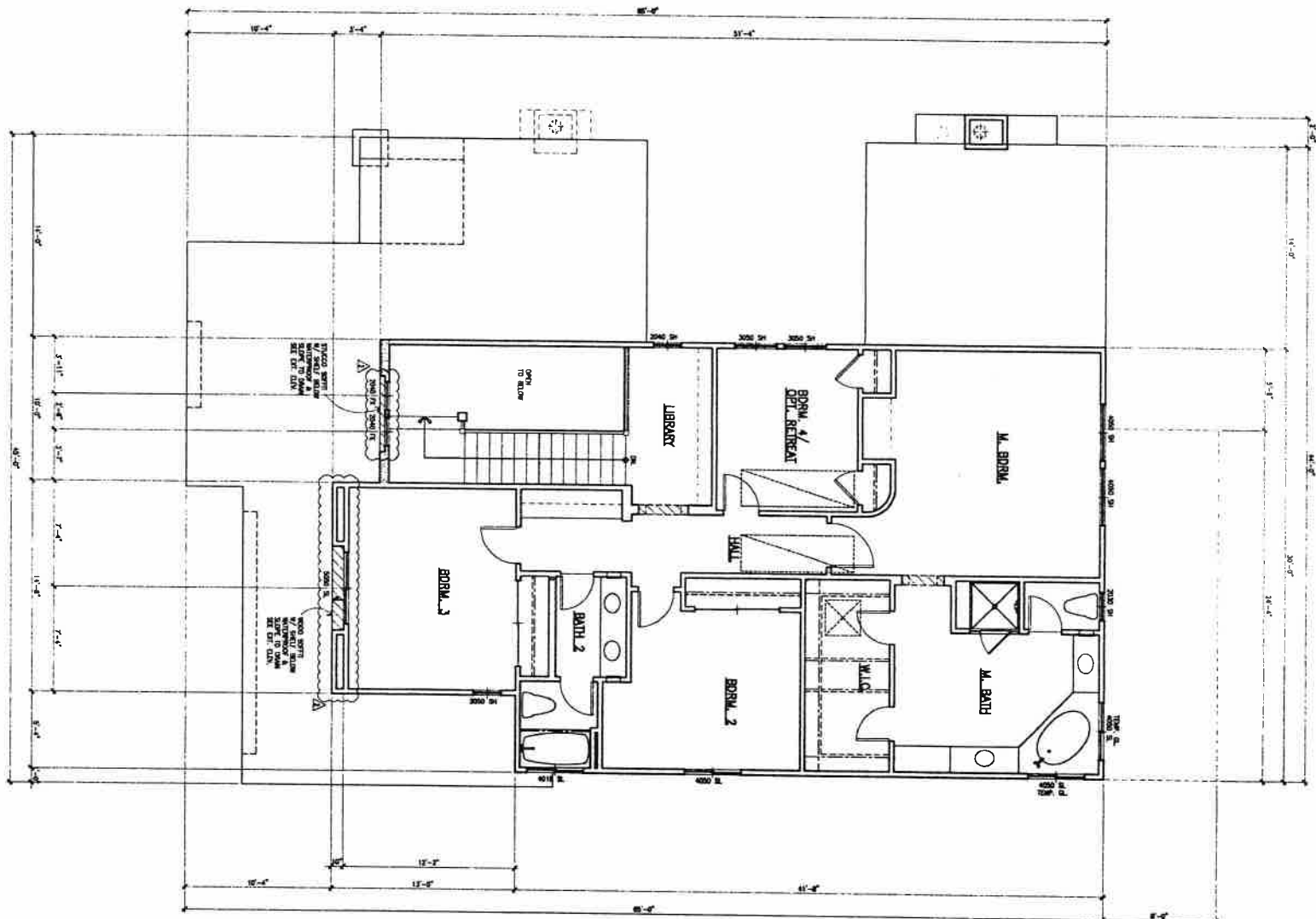
PROJECT MANAGER	J. B.
DESIGNER	C. K.
DRAWN BY	J. B.
REVIEWED BY	J. B.
1ST BLOCK DEPT. SUBMITTAL	10-13-03
ISSUED FOR CONSTRUCTION	2001150
JOB NUMBER	01150M30R.DWG
CAD FILE NAME	

DATE: 4-29-04 SHEET: A5.6

PLAN 5C - CRAFTSMAN

4-29-04 "CRAFTSMAN" ELEV. REVISION

ADDENDA FLOOR PLANS - PLAN 5C - CRAFTSMAN



SQUARE FOOTAGE TABLE

AREA	AREA (SQ. FT.)	AREA (SQ. FT.)
UPPER FLOOR PLAN	1744	581
LOWER FLOOR PLAN	1263	581
TOTAL	3007	1162
COVERED PATIO	54	50
2-CAR GARAGE	54	50

NOTE: SQUARE WALLS INDICATE ANGLES NOTED IN THE ARCHITECTURAL FLOOR PLAN.
 NOTE: REFER TO CH. AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SPACING CONDITIONS.
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO DIFFERENT METHODS OF CALCULATION.

SCALE: 1/4" = 1'-0"

PLAN 5C - CRAFTSMAN

NO.	DATE	DESCRIPTION
1	3-22-04	CLIENT REV. - 'CRAFTSMAN'

PROJECT MANAGER	DATE
WALNUT GROVE	4-29-04

WALNUT GROVE
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

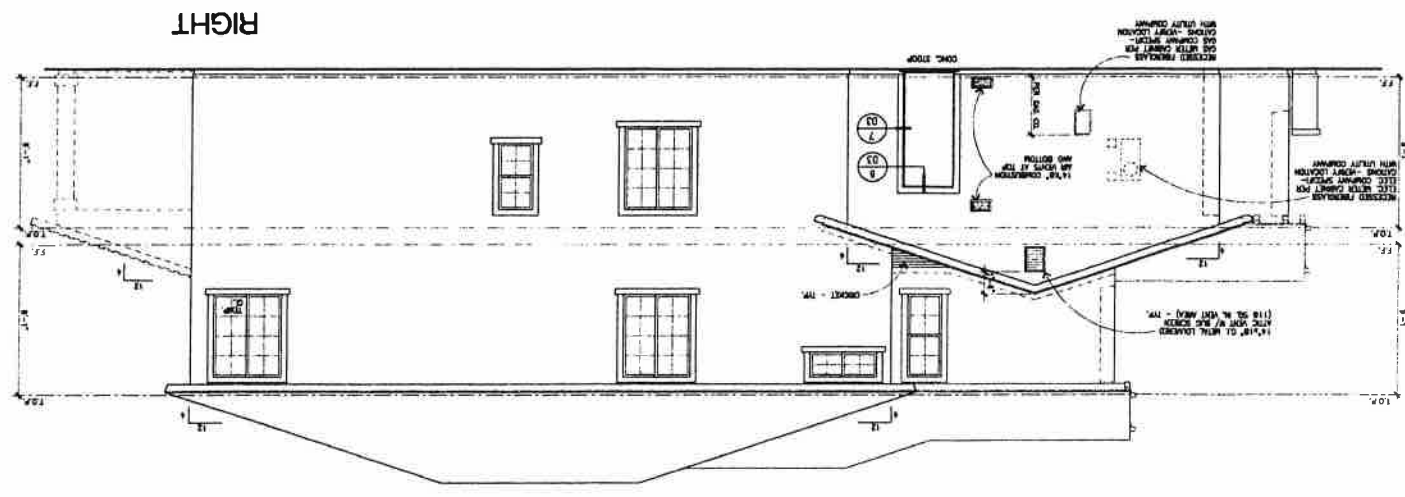
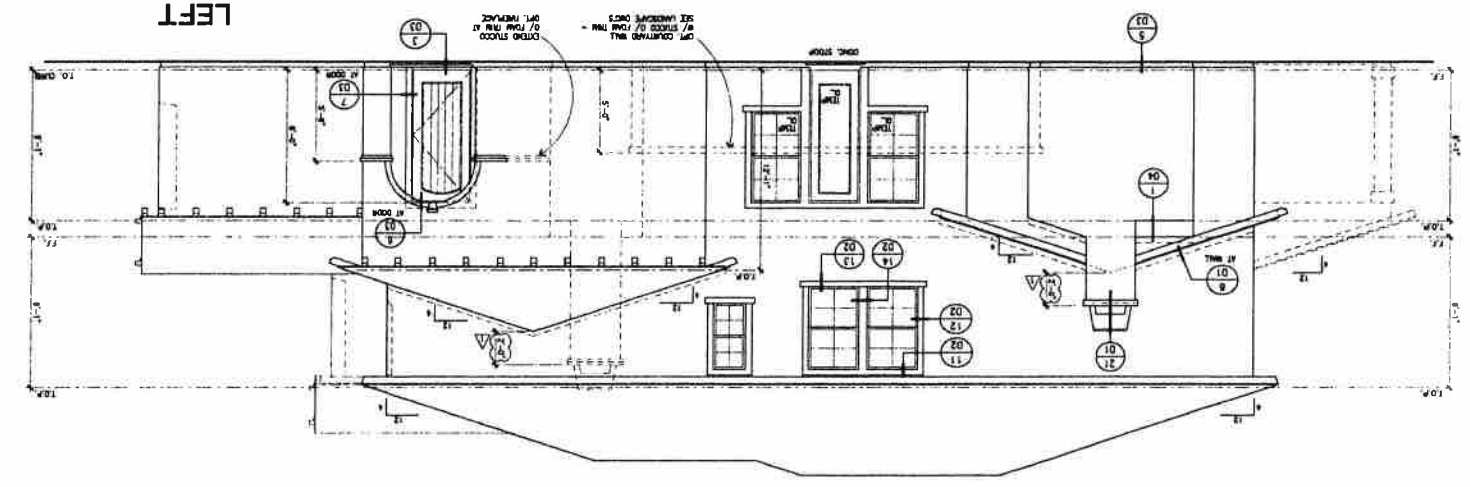
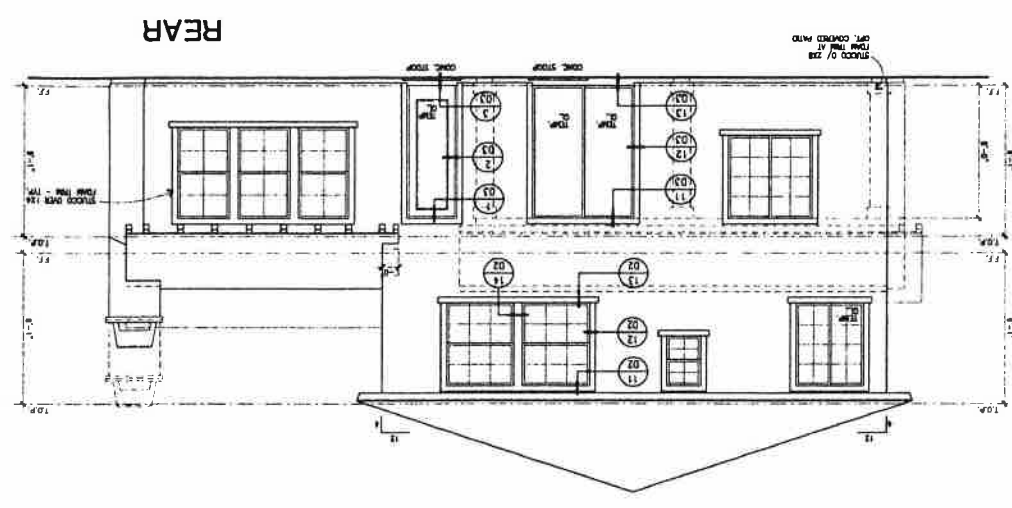
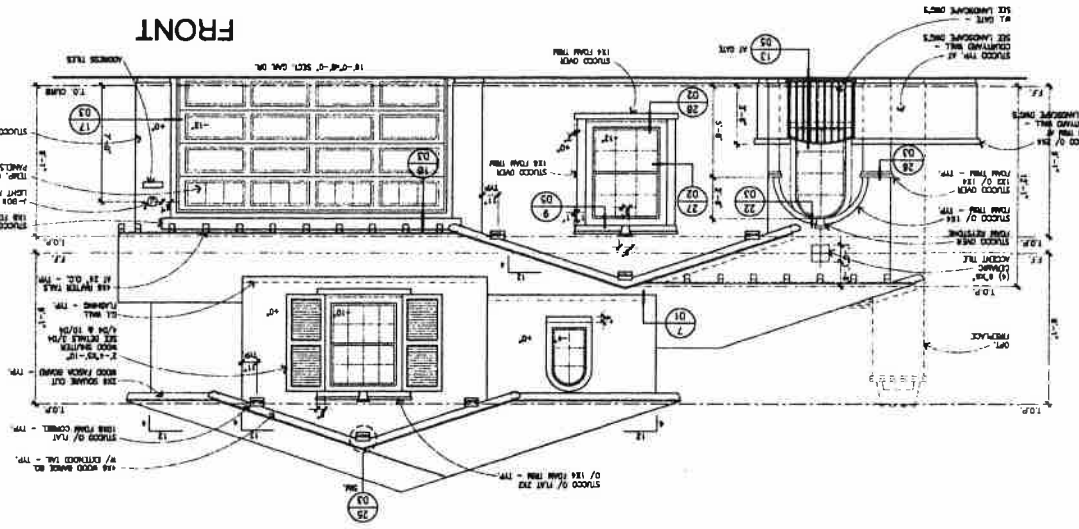
City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. **PD-S-939 ADJ 1**
 Village E - Walnut Grove
 Exhibits **F5**

TRACT #5182
 S.F.D.

WILLIAM HEZMATHALCH
 ARCHITECTS, INC.
 3035 OPENWOOD DRIVE, SUITE 200, FULSHEIM, CA 94705
 TEL: 925.483.1728
 FAX: 925.483.1728

EXTERIOR ELEVATIONS - PLAN 5D - SPANISH COLONIAL

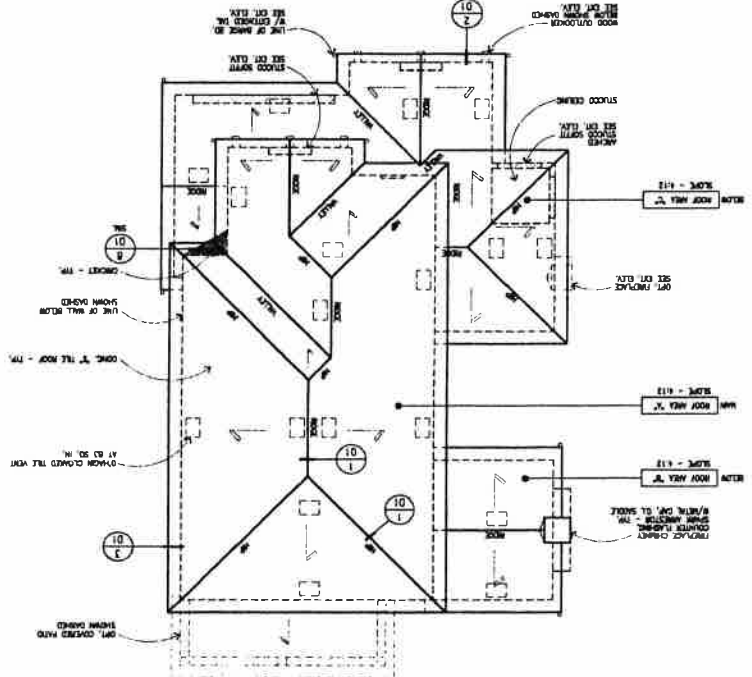
SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"

ROOF PLAN

ITEM	DESCRIPTION	AMOUNT	UNIT
1	ROOF AREA	2,200	SQ. FT.
2	ROOF PERIMETER	1,100	LINEAL FT.
3	ROOF FINISH	2,200	SQ. YD.
4	ROOF DRAINAGE	1	UNIT
5	ROOF VENT	1	UNIT
6	ROOF FLASHING	100	LINEAL FT.
7	ROOF GUTTER	100	LINEAL FT.
8	ROOF BRACKETS	100	LINEAL FT.
9	ROOF TRUSS	100	LINEAL FT.
10	ROOF RAFTER	100	LINEAL FT.
11	ROOF JOIST	100	LINEAL FT.
12	ROOF SHEATHING	2,200	SQ. YD.
13	ROOF INSULATION	2,200	SQ. YD.
14	ROOF WATER PROOFING	2,200	SQ. YD.
15	ROOF STUCCO	2,200	SQ. YD.
16	ROOF STUCCO FINISH	2,200	SQ. YD.
17	ROOF STUCCO REPAIR	2,200	SQ. YD.
18	ROOF STUCCO PATCH	2,200	SQ. YD.
19	ROOF STUCCO CRACK	2,200	SQ. YD.
20	ROOF STUCCO HOLE	2,200	SQ. YD.
21	ROOF STUCCO DIRT	2,200	SQ. YD.
22	ROOF STUCCO WEAR	2,200	SQ. YD.
23	ROOF STUCCO DISCOLOR	2,200	SQ. YD.
24	ROOF STUCCO STAIN	2,200	SQ. YD.
25	ROOF STUCCO CRACK	2,200	SQ. YD.
26	ROOF STUCCO HOLE	2,200	SQ. YD.
27	ROOF STUCCO DIRT	2,200	SQ. YD.
28	ROOF STUCCO WEAR	2,200	SQ. YD.
29	ROOF STUCCO DISCOLOR	2,200	SQ. YD.
30	ROOF STUCCO STAIN	2,200	SQ. YD.



2-27-04 SECOND BLDG. DEPT. SUBMITTAL

NO.	DATE	DESCRIPTION
1	2-18-04	B. O. CONNECTIONS

REVISIONS

NO.	DATE	DESCRIPTION
1	2-18-04	B. O. CONNECTIONS

DATE: 2-27-04
SHEET: A5.8

PLAN 5D - SPANISH COLONIAL

WALNUT GROVE
SIMI VALLEY, CALIFORNIA

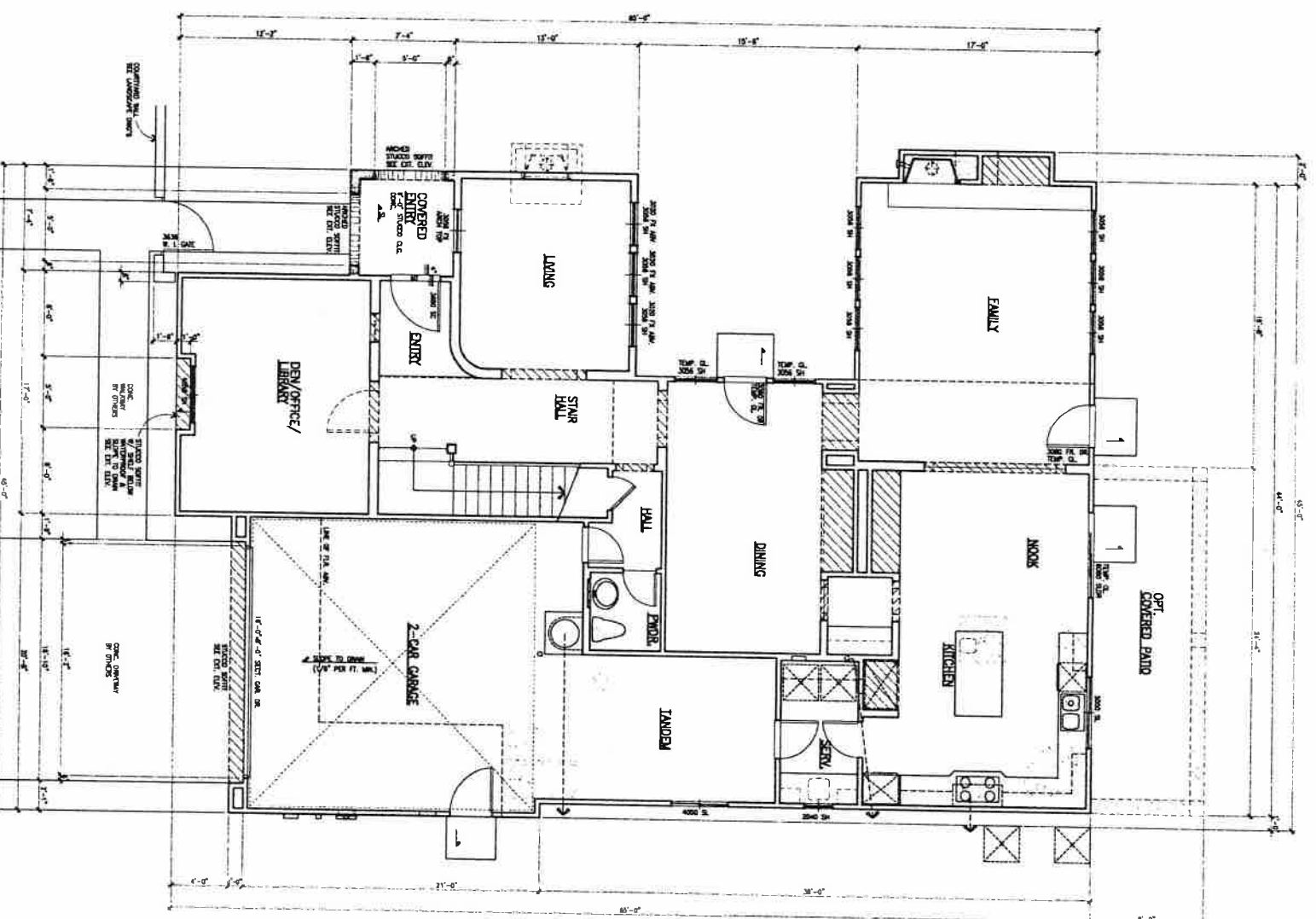
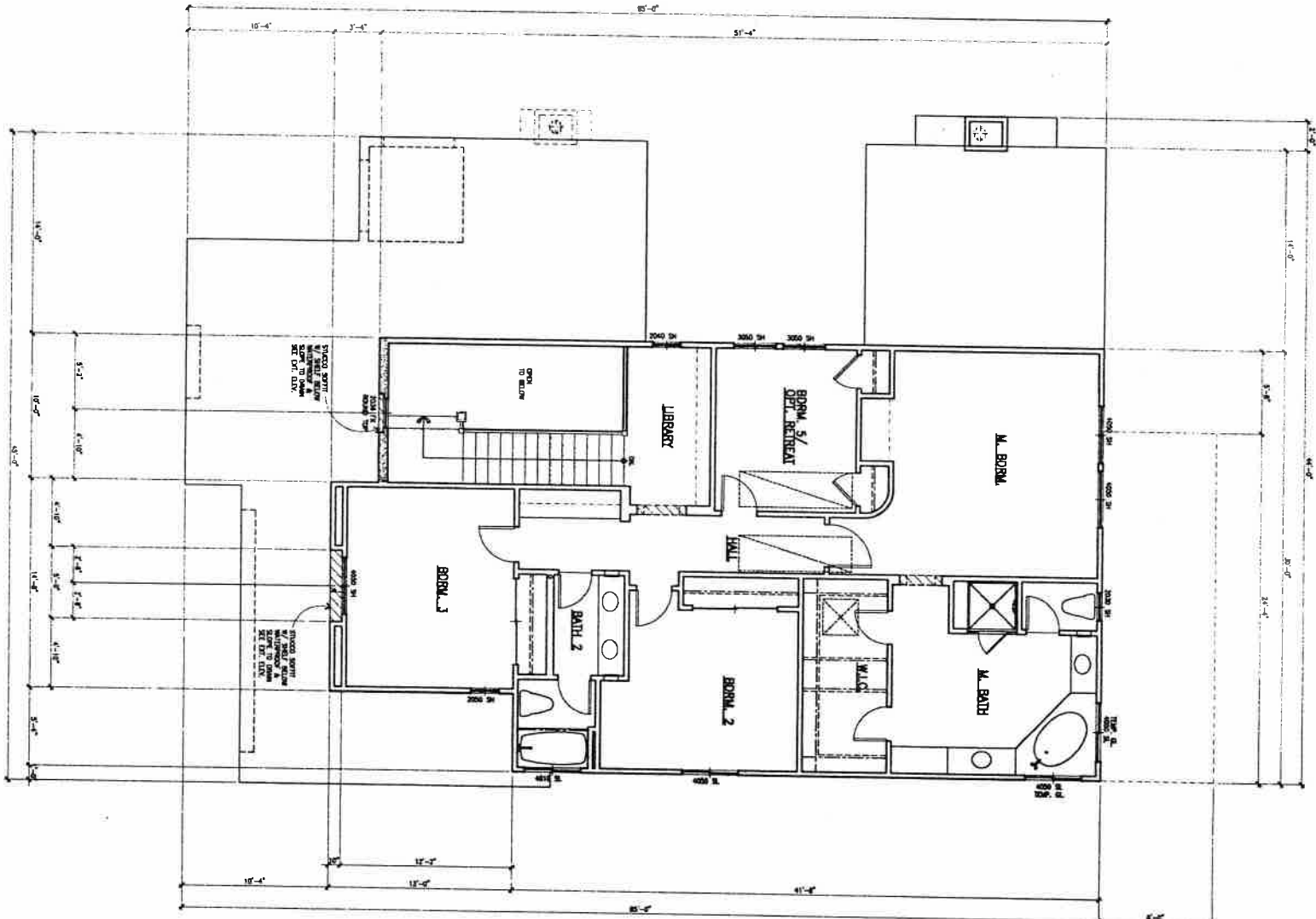
D. R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Walnut Grove
Exhibits B6

TRACT #5182
S.F.D.

WILLIAM HEZMAHALCH ARCHITECTS, INC.
19150 VAN COTT BLVD., SUITE 200, SANTA ANA, CA 92705
TEL: 714.952.1175 FAX: 714.952.1176

ADDENDA FLOOR PLANS - PLAN 5D - SPANISH COLONIAL



SQUARE FOOTAGE TABLE

ROOM NAME	AREA	AREA	AREA
LIVING ROOM	174	50	50
DINING ROOM	130	50	50
KITCHEN	117	50	50
BATH	43	50	50
STAIR SHAFT	34	50	50

NOTE: SQUARE FOOTAGE DATA VIEWED FROM 2-D VIEW OF CAD DRAWING.

SCALE: 1/4" = 1'-0"

PLAN 5D - SPANISH COLONIAL

NO.	DATE	DESCRIPTION

DATE: 2-27-04
SHEET: A5.7

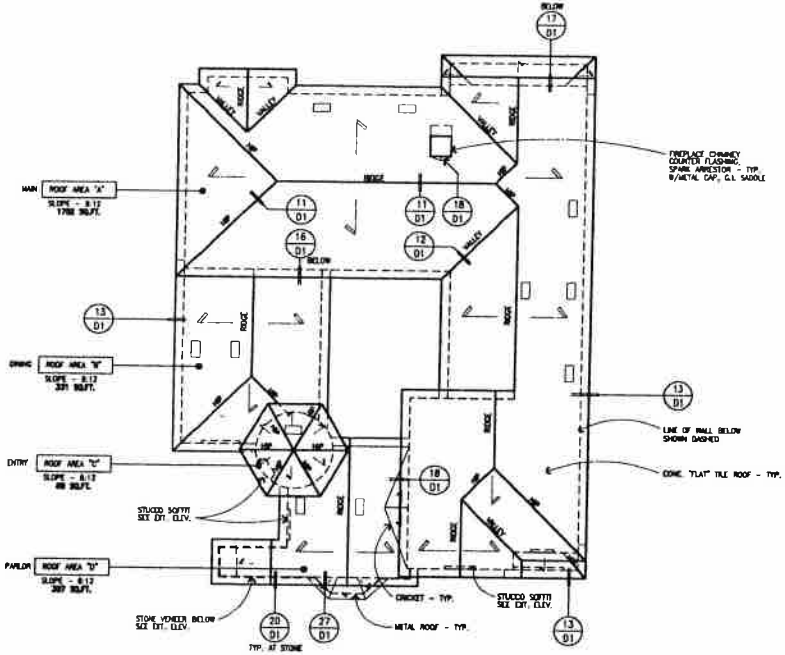
WALNUT GROVE
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-939 ADJ 1
Village E - Walnut Grove
Exhibits F6

TRACT #5182
S.F.D.

WILLIAM HEZMATHLOCH
ARCHITECTS
10000 WILSON AVENUE, SUITE 100
DANA POINT, CALIFORNIA 92629
TEL: 949.343.1100
WWW.HEZMATHLOCH.COM



ROOF PLAN LEGEND

INDICATES 8/12 SLOPE/DIRECTION
INDICATES 12/12 SLOPE/DIRECTION

ROOF PLAN NOTES

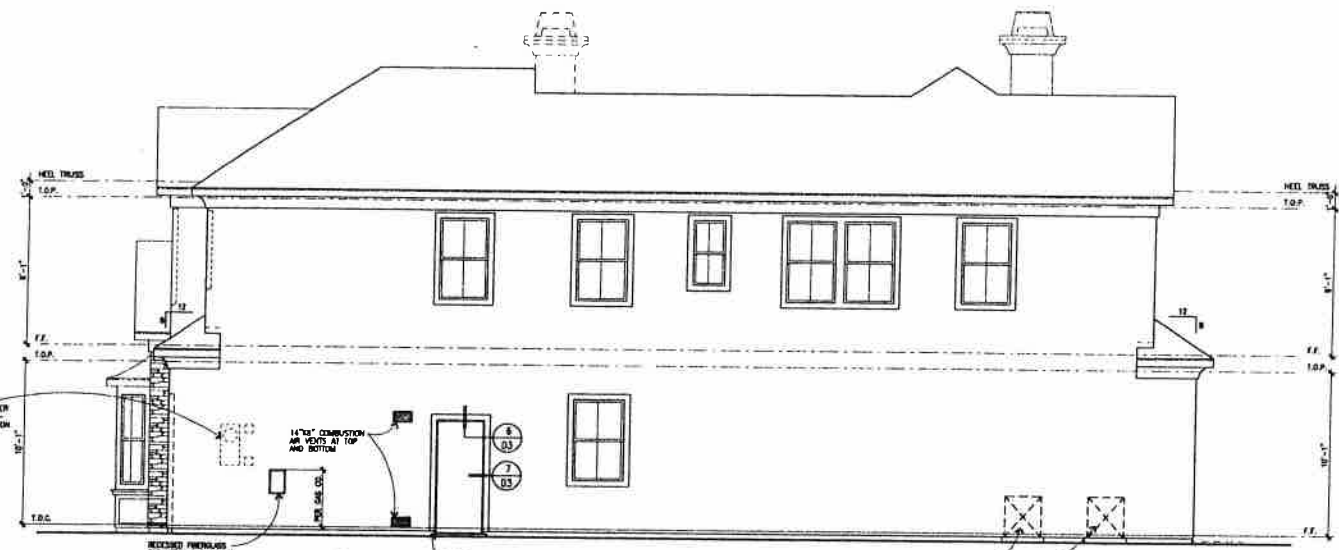
- SEE GENERAL NOTES FOR ROOF NOTES
- SKYLIGHTS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- OVERHANGS AT EAVE CONDITIONS (UNLESS NOTED OTHERWISE)
- PROVIDE ATIC & SCOTTS VENTILATION AS PER SECTION 1503.1 OF THE 2007 CALIFORNIA BUILDING CODE.

ATIC VENT REQUIREMENTS

ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	ROOF AREA 'D'
ATIC AREA: 1251 SQ. FT.	331 SQ. FT.	362 SQ. FT.	302 SQ. FT.
PROVIDED: (USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)	(USE 1/200-HIGH & LOW SIZES REQUIRED AT UPPER 1/3 OF ROOF AREA)
CABLE VENT(S) PROVIDED: 304 SQ. IN. (108 SQ. IN.)	CABLE VENT(S) PROVIDED: 304 SQ. IN. (108 SQ. IN.)	CABLE VENT(S) PROVIDED: 304 SQ. IN. (108 SQ. IN.)	CABLE VENT(S) PROVIDED: 304 SQ. IN. (108 SQ. IN.)
SCOTTS VENT(S) PROVIDED: 100 SQ. IN. (100 SQ. IN.)	SCOTTS VENT(S) PROVIDED: 100 SQ. IN. (100 SQ. IN.)	SCOTTS VENT(S) PROVIDED: 100 SQ. IN. (100 SQ. IN.)	SCOTTS VENT(S) PROVIDED: 100 SQ. IN. (100 SQ. IN.)
UPPER PROVIDED: 424 SQ. IN.	UPPER PROVIDED: 100 SQ. IN.	UPPER PROVIDED: 100 SQ. IN.	UPPER PROVIDED: 74 SQ. IN.
UPPER REQUIRED: 424 SQ. IN.	UPPER REQUIRED: 100 SQ. IN.	UPPER REQUIRED: 100 SQ. IN.	UPPER REQUIRED: 74 SQ. IN.
ONE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ONE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ONE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ONE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)
ALTERNATE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ALTERNATE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ALTERNATE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)	ALTERNATE VENT(S) PROVIDED: 0 SQ. IN. (0 SQ. IN.)
LOWER PROVIDED: 300 SQ. IN.	LOWER PROVIDED: 80 SQ. IN.	LOWER PROVIDED: 80 SQ. IN.	LOWER PROVIDED: 24 SQ. IN.
LOWER REQUIRED: 300 SQ. IN.	LOWER REQUIRED: 80 SQ. IN.	LOWER REQUIRED: 80 SQ. IN.	LOWER REQUIRED: 24 SQ. IN.
TOTAL PROVIDED: 824 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.	TOTAL PROVIDED: 200 SQ. IN.
TOTAL REQUIRED: 824 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.	TOTAL REQUIRED: 200 SQ. IN.

ROOF PLAN

SCALE: 1/8" = 1'-0"



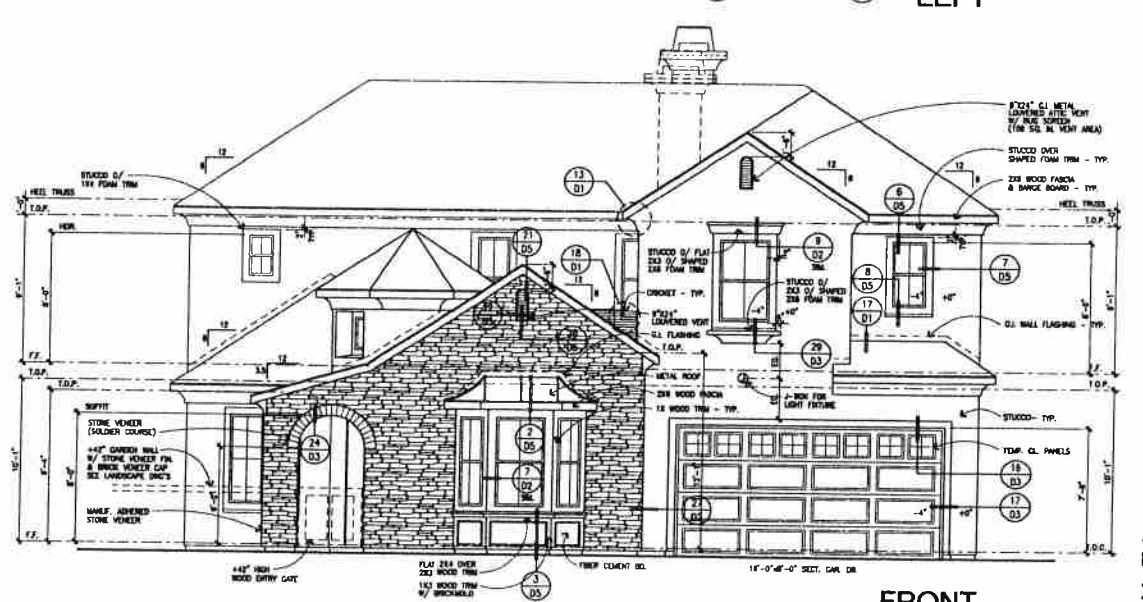
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS - PLAN 7A - FRENCH COUNTRY

MAR 03 2004
SCALE: 1/4" = 1'-0"

W
WILLIAM HEZMALHALCH ARCHITECTS INC.
280 REDWOOD AVENUE SUITE 108 SANTA ANA CA 92705-5643
949 250 0817 www.hezmalhalch.com fax 949 250 1528
3015 HOPKINSON ROAD SUITE 225 PLEASANTON CA 94588-8627
925 463 1700 fax 925 463 1725

TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B1

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

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NO. NOT SCALE PLANS

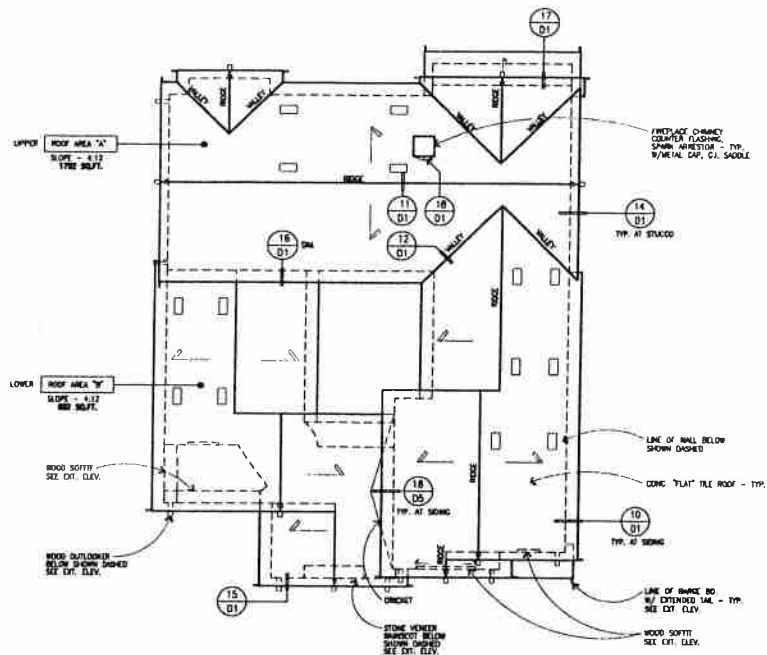
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER	J.B.
DESIGNER	T.H.
DRAWN BY	J.B.
REVIEWED BY	J.B.
101 BLDG. DEPT. SUBMITTAL	6-3-04
ISSUED FOR CONSTRUCTION	10/1/01
JOB NUMBER	2001151
CAD FILE NAME	01114704.DWG

DATE: 2-27-04 SHEET: A7.4

PLAN 7A - FRENCH COUNTRY

SECOND BLDG. DEPT. SUBMITTAL
2-27-04



ROOF PLAN LEGEND

INDICATES 12:12 SLOPE/DIRECTION

INDICATES CORNER FLASHING (IF REQUIRED)

INDICATES ROOF DITCH (IF REQUIRED)

INDICATES LINE OF SHINGE

INDICATES LINE OF STRUCTURE

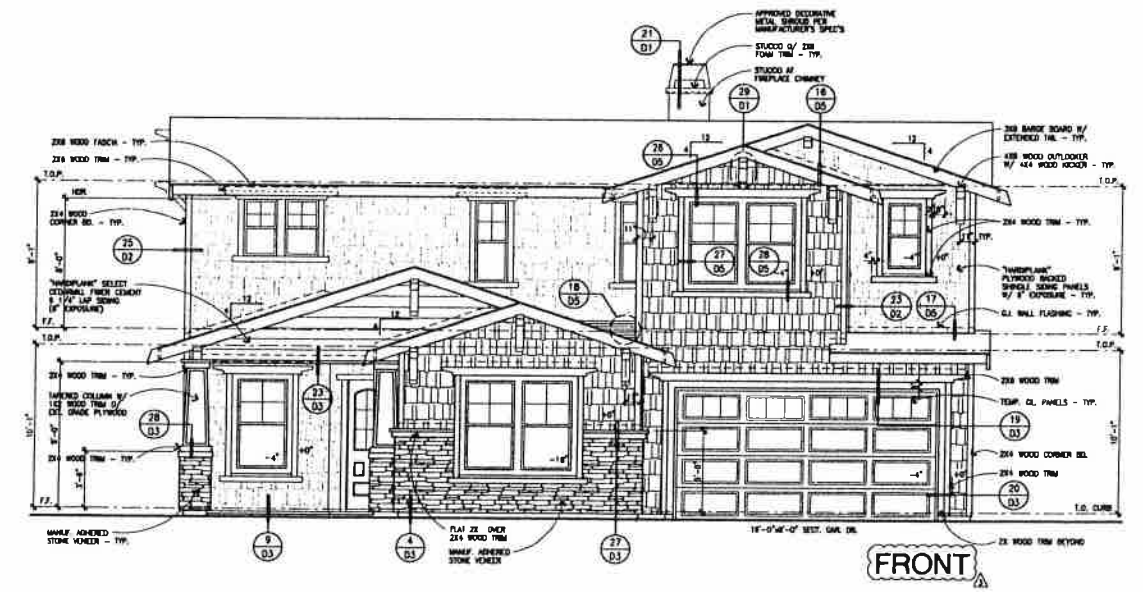
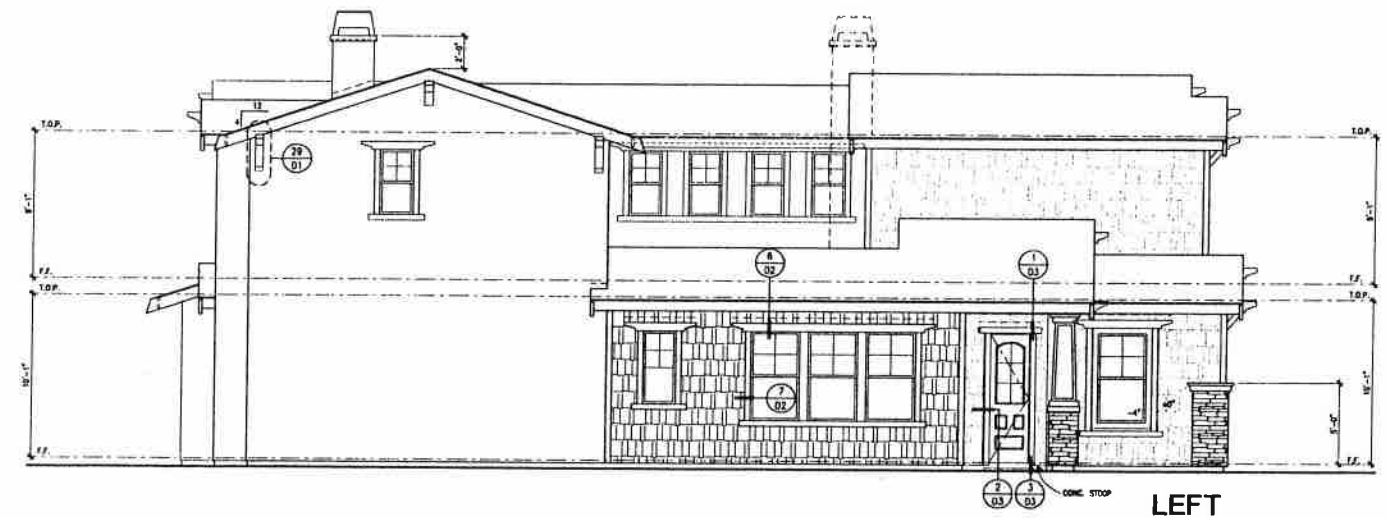
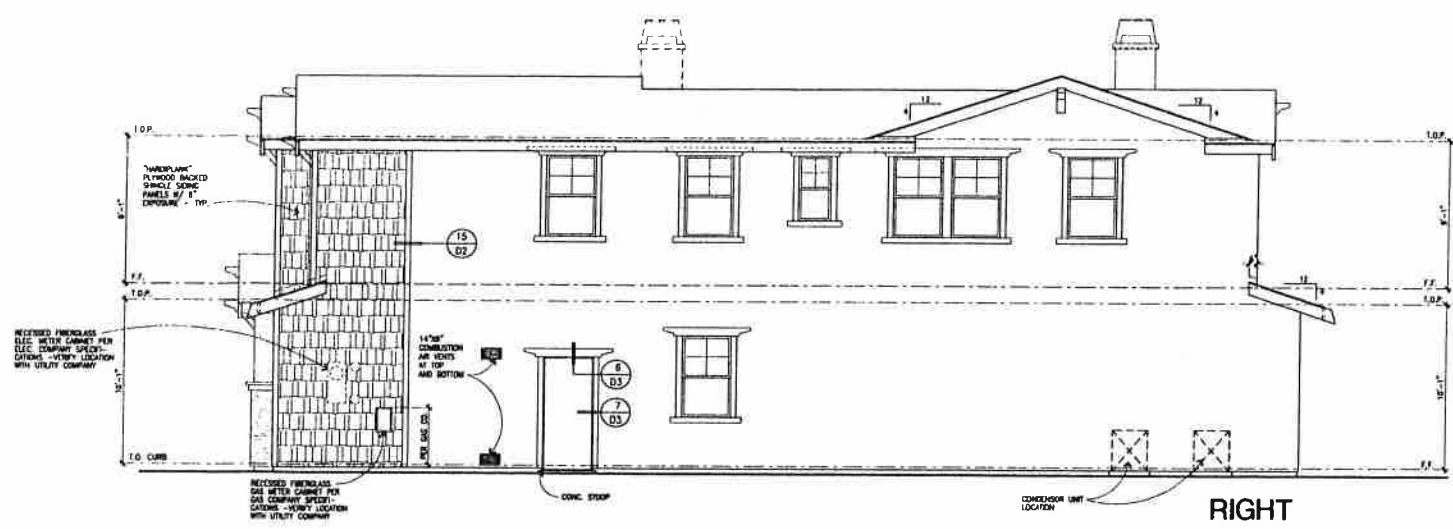
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES
- SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- OVERHANGS SHALL BE AT LEAST 6" UNLESS OTHERWISE NOTED OTHERWISE (UNLESS NOTED OTHERWISE)
- PROVIDE ATIC & SOFTS VENTILATION AS PER SECTION 1003.3 OF THE 2001 CALIFORNIA BUILDING CODE

ROOF AREA "A"		ROOF AREA "B"	
ATIC AREA	PROVIDED	ATIC AREA	PROVIDED
1752 SQ. FT.	(USE 1/200-HIGH & LOW SOE REQUIRED AT UPPER 1/3 OF ROOF AREA)	500 SQ. FT.	(USE 1/200-HIGH & LOW SOE REQUIRED AT UPPER 1/3 OF ROOF AREA)
CABLE VENT(S) PROVIDED: 200 SQ. FT. AT 100 SQ. FT.		CABLE VENT(S) PROVIDED: 200 SQ. FT. AT 100 SQ. FT.	
CORNER VENT(S) PROVIDED: (HIGH) 200 SQ. FT. AT 100 SQ. FT.		CORNER VENT(S) PROVIDED: (HIGH) 200 SQ. FT. AT 100 SQ. FT.	
UPPER PROVIDED: 200 SQ. FT.		UPPER PROVIDED: 200 SQ. FT.	
UPPER REQUIRED: 200 SQ. FT.		UPPER REQUIRED: 200 SQ. FT.	
EAVE VENT(S) PROVIDED: (LOW) 200 SQ. FT. AT 100 SQ. FT.		EAVE VENT(S) PROVIDED: (LOW) 200 SQ. FT. AT 100 SQ. FT.	
ALTERNATE VENT(S) PROVIDED: (LOW) 200 SQ. FT. AT 100 SQ. FT.		ALTERNATE VENT(S) PROVIDED: (LOW) 200 SQ. FT. AT 100 SQ. FT.	
LOWER PROVIDED: 200 SQ. FT.		LOWER PROVIDED: 200 SQ. FT.	
LOWER REQUIRED: 200 SQ. FT.		LOWER REQUIRED: 200 SQ. FT.	
TOTAL PROVIDED: 1000 SQ. FT.		TOTAL PROVIDED: 1000 SQ. FT.	
TOTAL REQUIRED: 800 SQ. FT.		TOTAL REQUIRED: 800 SQ. FT.	

ROOF PLAN

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS - PLAN 7C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

PLAN 7C - CRAFTSMAN

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ESD NO. 107 SCALE: 1/4" = 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION
1	3-22-04	CLIENT REV. - DRAFTSMAN

PROJECT MANAGER:	J.R.
DESIGNER:	J.R.
DRAWN BY:	J.R.
REVIEWED BY:	J.R.
1ST BLOC DEPT. SUBMITAL:	9-2-03
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2001101
CAD FILE NAME:	01151476.DWG
DATE:	4-29-04
SHEET:	A7.6

"CRAFTSMAN" ELEV. REVISION 4-29-04

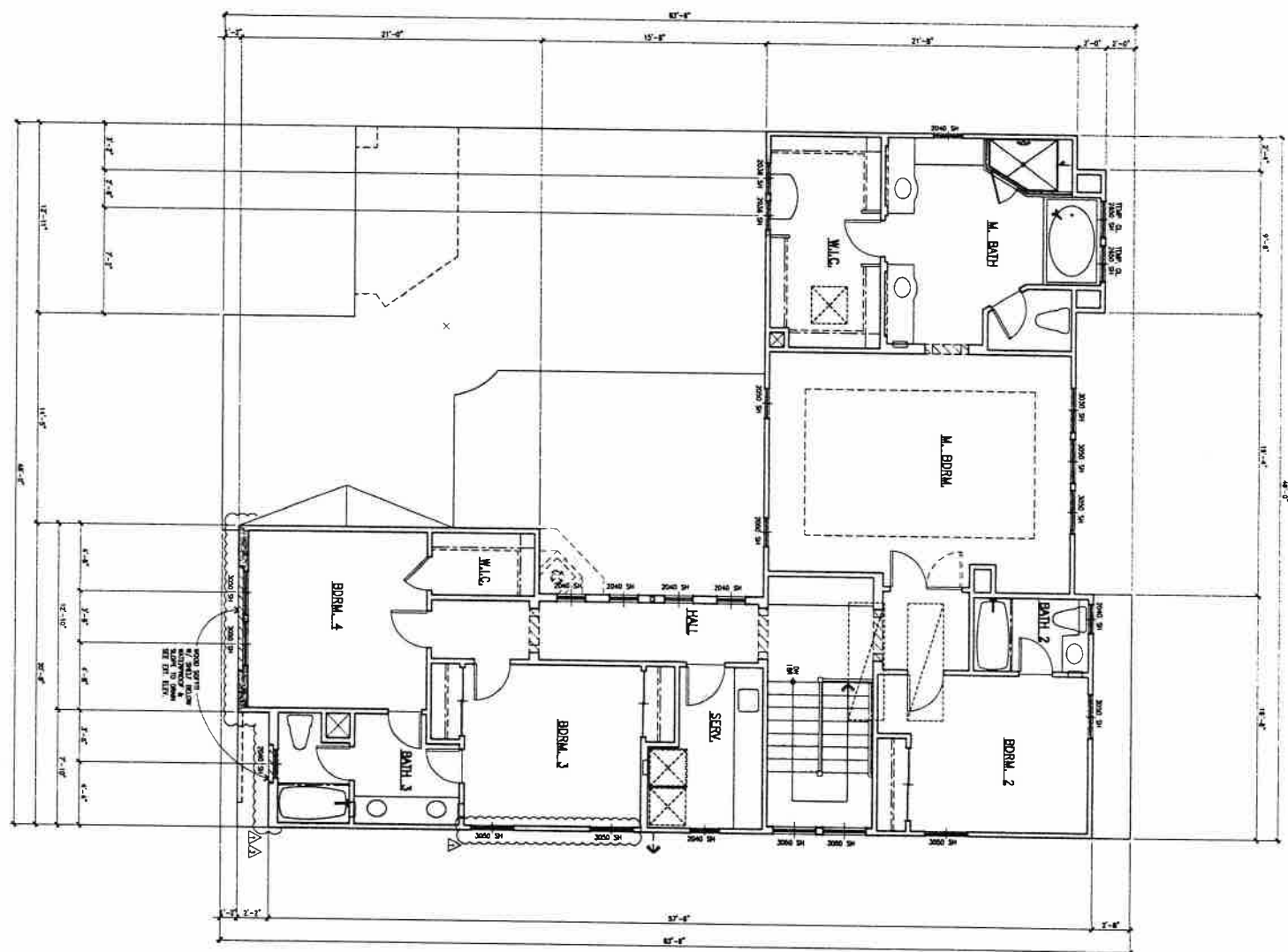
HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

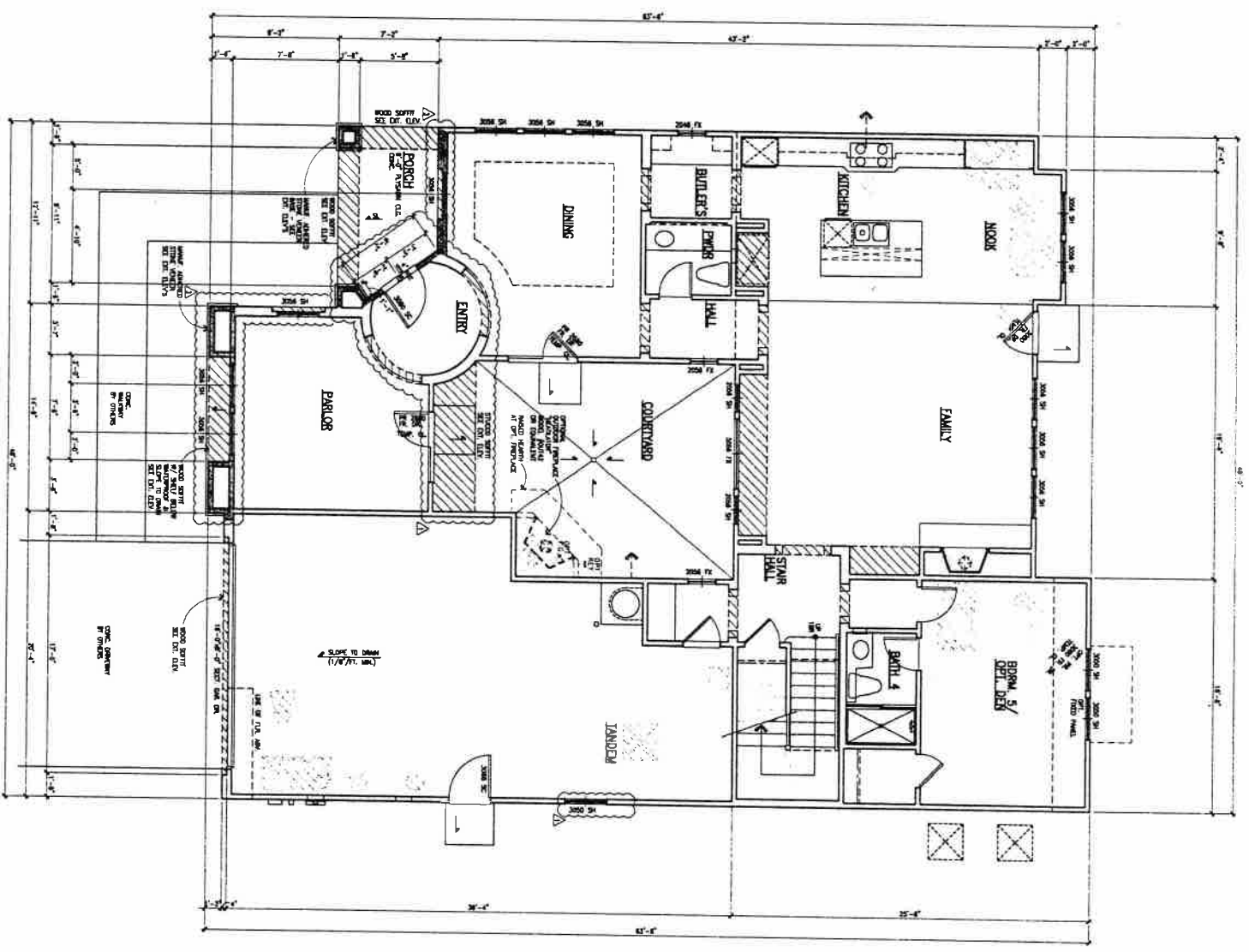
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B3

TRACT #5182
S.F.D.

WILLIAM HEZMALHALCH
ARCHITECTS, INC.
7800 REDHILL AVENUE, SUITE 100, SANTA ANA, CA 92705-5041
949-250-0807 www.hezmalhalch.com fax 949-250-1329
815 HOPKINSON ROAD, SUITE 205 PLEASANTON, CA 94566-8577
925-463-1700 fax 925-463-1775



UPPER FLOOR PLAN



LOWER FLOOR PLAN

PLAN 7C - CRAFTSMAN

APPEND A FLOOR PLANS - PLAN 7C - CRAFTSMAN

SQUARE FOOTAGE TABLE:

AREA	AREA (SQ. FT.)
UPPER FLOOR PLAN	1143 SQ. FT.
LOWER FLOOR PLAN	2113 SQ. FT.
TOTAL	3256 SQ. FT.
COVERED PATIO	644 SQ. FT.
POOL	282 SQ. FT.
DECK	78 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	CLIENT REVISIONS
1	8-23-03		
2	3-22-04	CLIENT REV. - "CRAFTSMAN"	

PROJECT MANAGER: J.E. HORTON
 DESIGNER: J.E. HORTON
 DATE: 4-29-04
 SHEET: A7.5

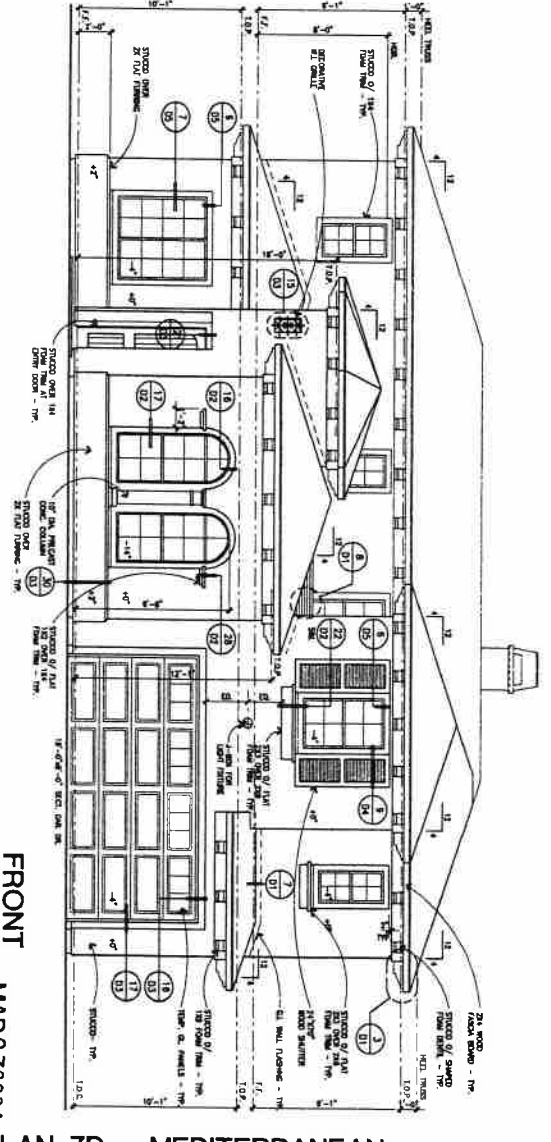
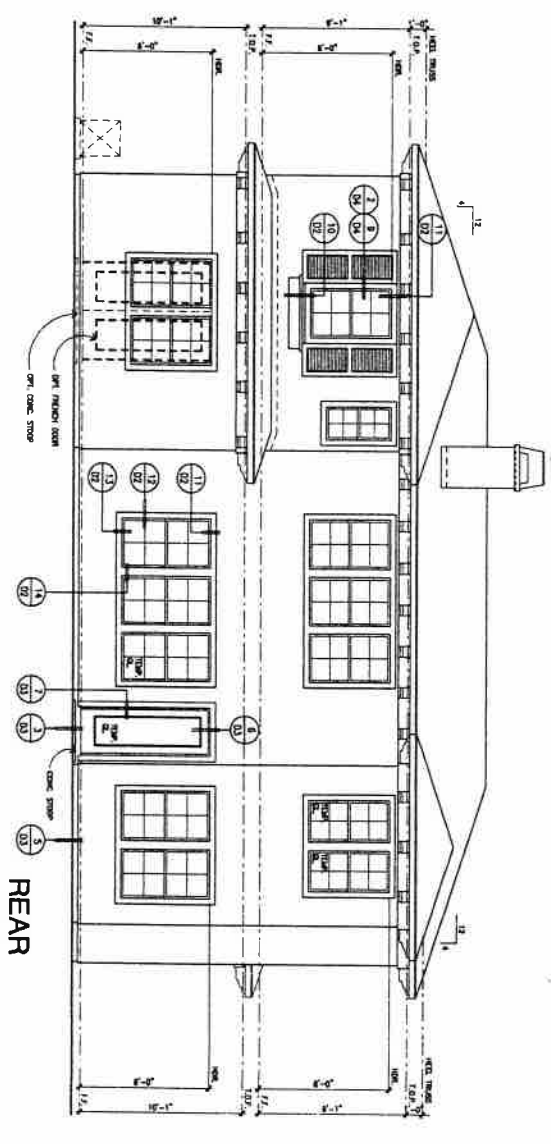
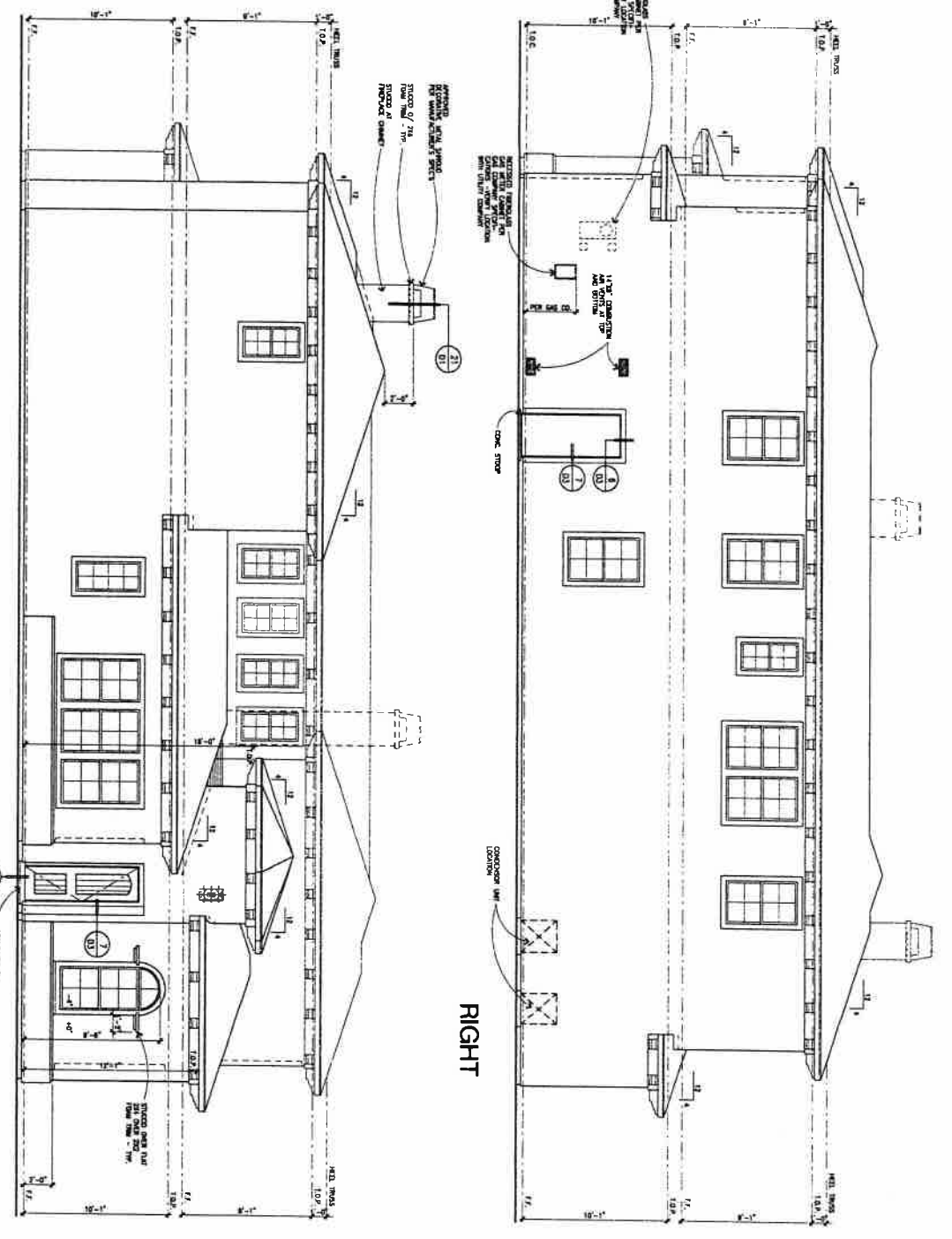
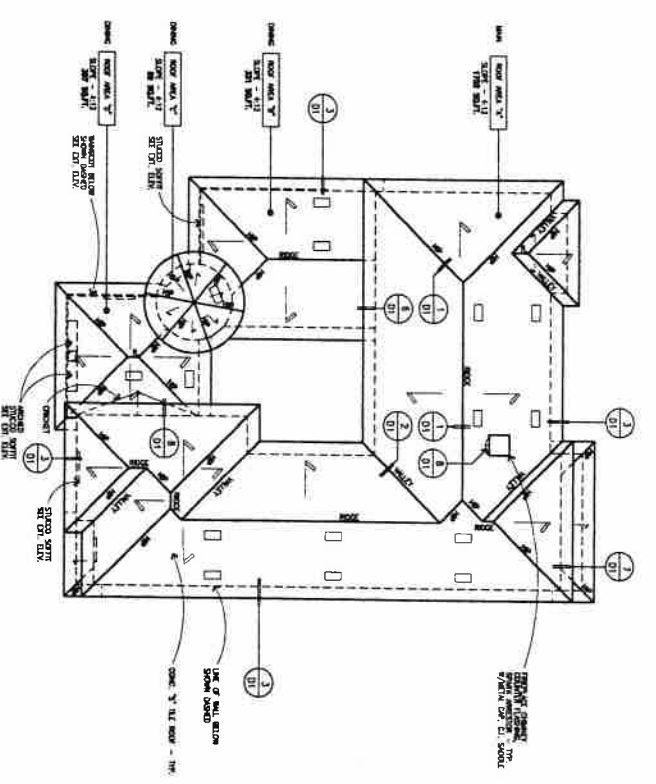
HIGHLANDS
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
 PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits F1

TRACT #5182
 S.F.D.

WILLIAM H. ZEIN
 ARCHITECT
 2825 BURNING WOOD DRIVE, SUITE 200, SIMI VALLEY, CA 91386
 805.281.1100
 WWW.WHZEIN.COM



EXTERIOR ELEVATIONS - PLAN 7D - MEDITERRANEAN

SCALE: 1/4" = 1'-0"

PLAN 7D - MEDITERRANEAN

MAR032004

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	2-27-04	ISSUED FOR PERMITTING
2	2-27-04	ISSUED FOR CONSTRUCTION
3	2-27-04	ISSUED FOR SUBMITTAL

REVISIONS

DATE: 2-27-04

SHEET: A7.8

2-27-04 SECOND BLDG. DEPT. SUBMITTAL

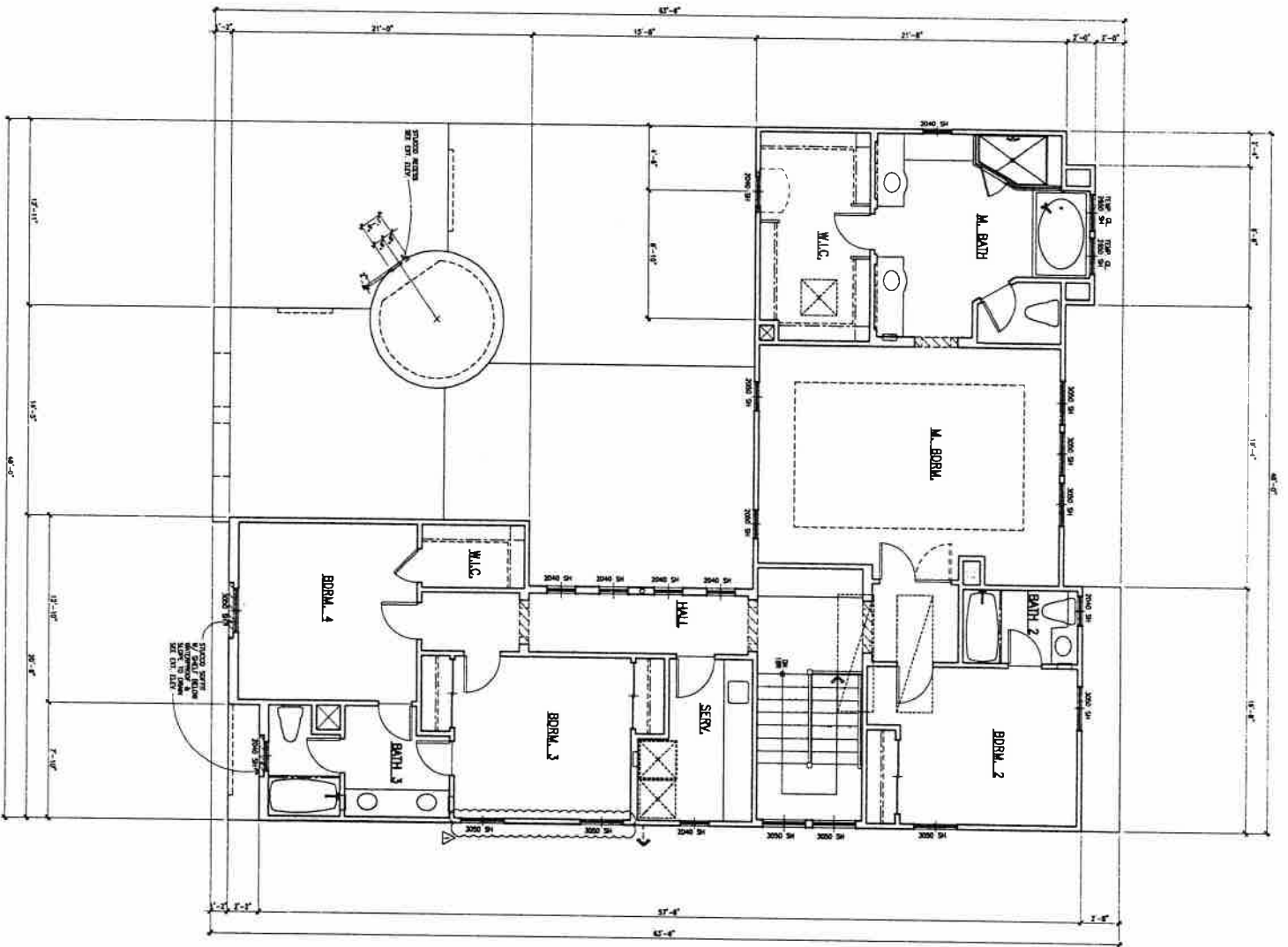
HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

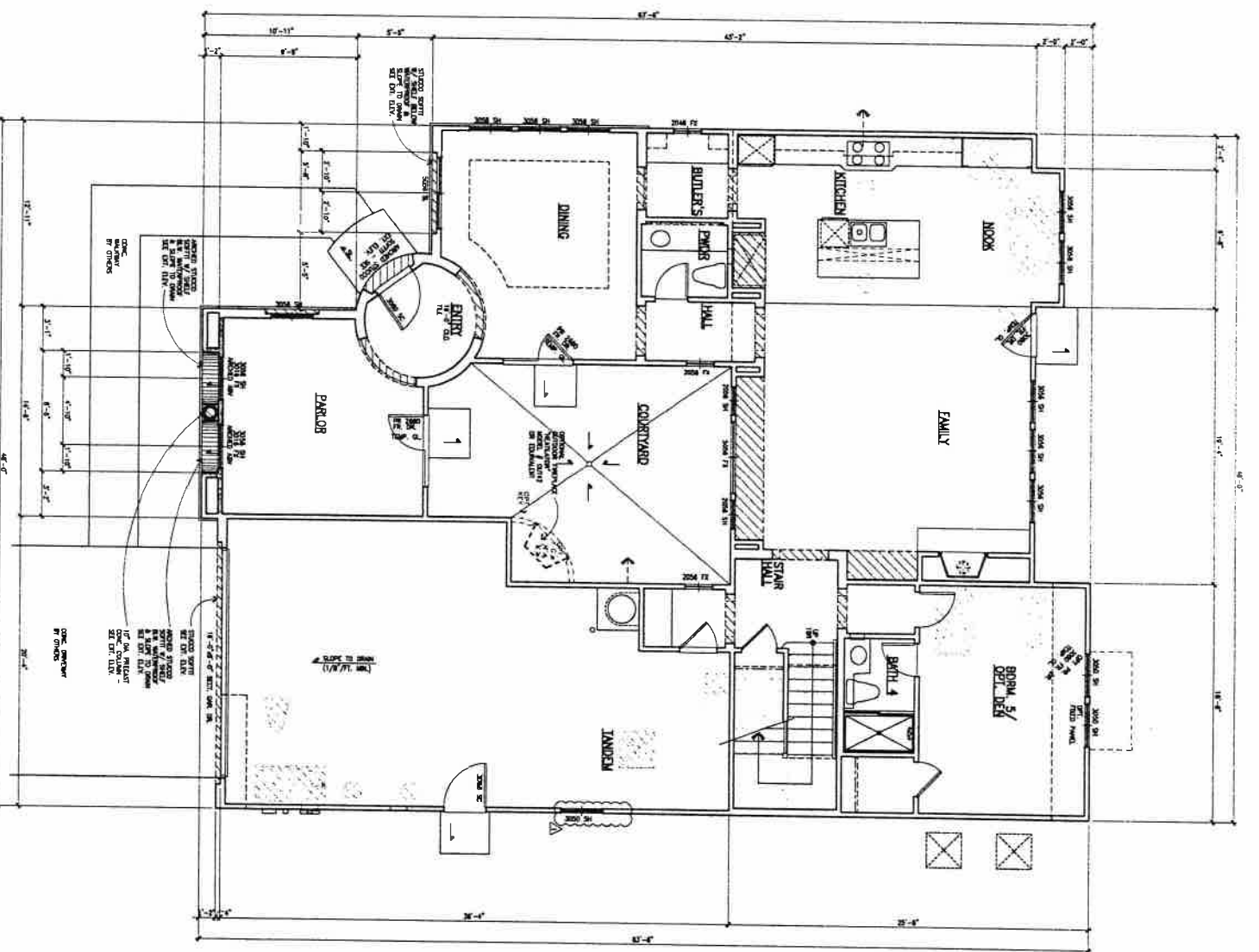
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B5

TRACT #5182
S.F.D.

WILLIAM HEZMAHALCH
ARCHITECTS, INC.
21500 CALIFORNIA STREET, SUITE 200
VAN NUYS, CALIFORNIA 91411
TEL: 818.708.4077



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE:

AREA	AREA (SQ. FT.)	PERCENTAGE
UPPER FLOOR PLAN	1738	30.7%
LOWER FLOOR PLAN	1462	26.7%
TOTAL	3200	57.4%
CANOPY	442	8.1%
COVERED	580	10.5%
TOTAL	4722	86.0%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

MAR 03 2004
 NOTE: SQUARED SHALL REPORT AREAS THAT ARE DIFFERENT FROM THE BASE FLOOR PLAN.
 NOTE: REFER TO CIVIL AND LANDSCAPE ARCHITECTURE SHEETS FOR DRIVEWAYS AND SIDEWALK LOCATIONS.
 REFER TO BASE PLAN SHEET A11 FOR ADDITIONAL NOTES AND DIMENSIONS.
 SCALE: 1/4" = 1'-0"

PLAN 7D - MEDITERRANEAN

HIGHLANDS
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
 PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits F2

TRACT #5182
 S.F.D.

WILLIAM HEZMAHATACH
 ARCHITECTS, INC.
 20000 HIGHLAND DRIVE, SUITE 200, SIMI VALLEY, CALIFORNIA 91358
 TEL: (805) 709-9999 FAX: (805) 709-9998
 WWW.WHARCHITECTS.COM



REVISIONS

NO.	DATE	DESCRIPTION
1	4-23-04	CLIENT REVISIONS

NO.	DATE	DESCRIPTION
1	2-27-04	PROJECT VARIATION
2	2-27-04	REVISION
3	2-27-04	REVISION
4	2-27-04	REVISION
5	2-27-04	REVISION
6	2-27-04	REVISION
7	2-27-04	REVISION
8	2-27-04	REVISION
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99	2-27-04	REVISION
100	2-27-04	REVISION

WILLIAM HEZMAHALCH
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 2850 AVENUE 28
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 SIMI VALLEY, CALIFORNIA 91381
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 FAX: 805.440.1734
 WWW.WHARCHITECTS.COM

TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
 PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits B8

HIGHLANDS
 SIMI VALLEY, CALIFORNIA

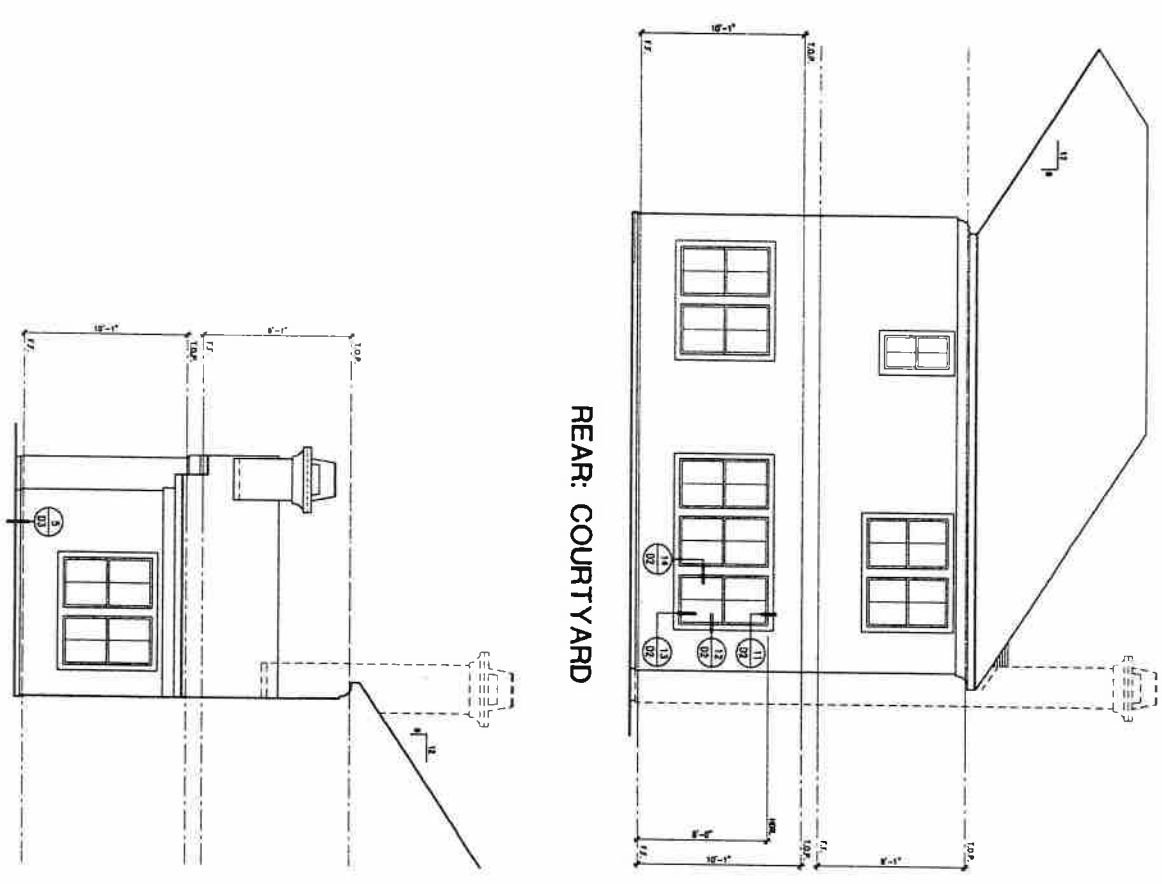
 D.R. HORTON
 VALENCIA, CALIFORNIA

NO.	DATE	DESCRIPTION
REVISIONS		
1	2-27-04	ISSUED FOR PERMITS
2	2-27-04	REVISED PER COMMENTS
3	2-27-04	REVISED PER COMMENTS
4	2-27-04	REVISED PER COMMENTS
5	2-27-04	REVISED PER COMMENTS
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48	2-27-04	REVISED PER COMMENTS
49	2-27-04	REVISED PER COMMENTS
50	2-27-04	REVISED PER COMMENTS

MAR 03 2004
 SCALE: 1/4" = 1'-0"

FRONT: COURTYARD
 REAR: COURTYARD

EXTERIOR COURTYARD ELEVATIONS - PLAN 8A - FRENCH COUNTRY



PLAN 8A - FRENCH COUNTRY

WILLIAM HEZMALHACH
ARCHITECTS, INC.
205 RIVINGTON SQUARE SUITE 200 SANTA ANA, CALIFORNIA
92701
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TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits F3

HIGHLANDS
SIMI VALLEY, CALIFORNIA

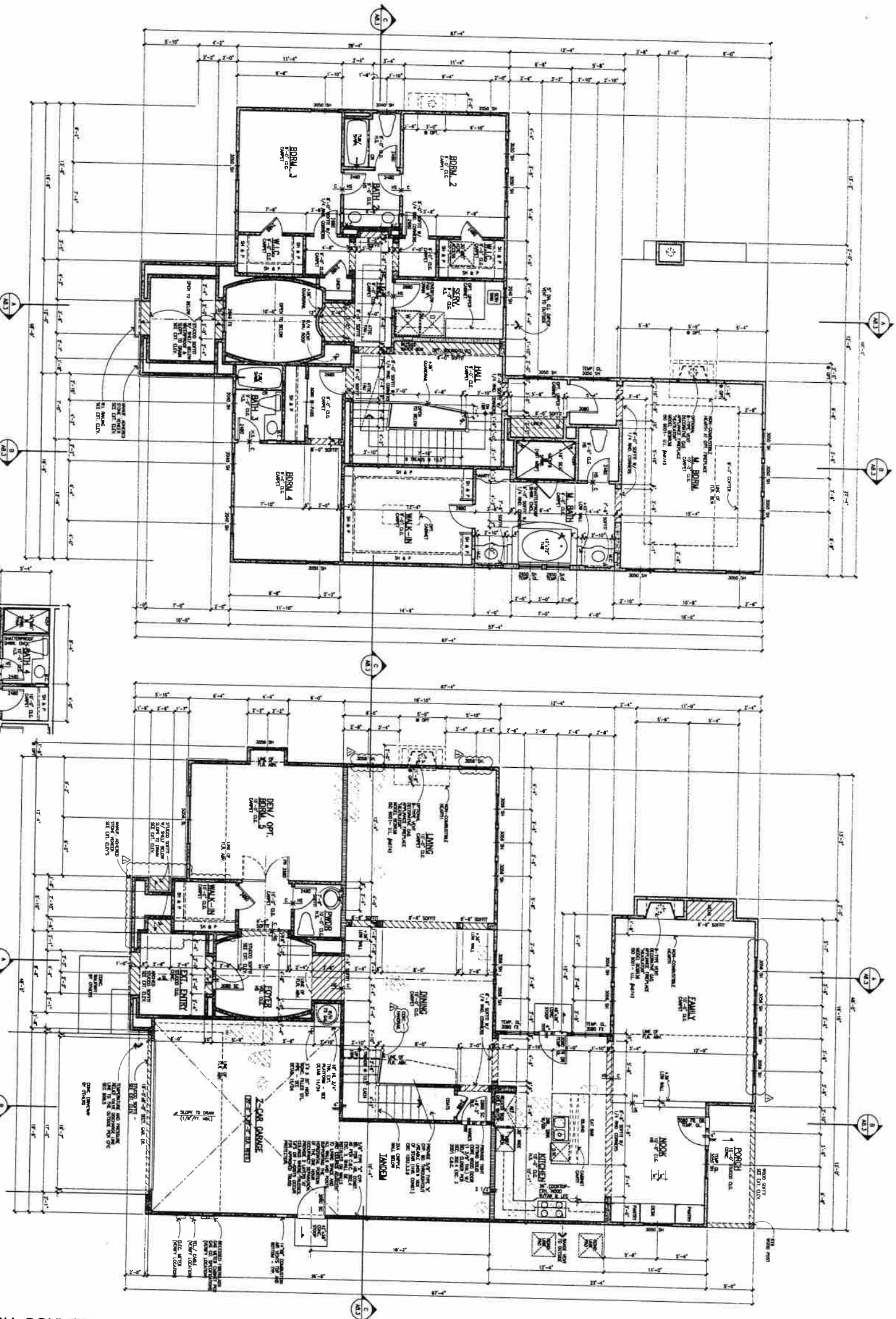
D.R. HORTON
VALENCIA, CALIFORNIA

NO.	DATE	DESCRIPTION
1	9-23-03	CLIENT REVISIONS
2	1-28-04	B. D. CONNECTIONS

NO.	DATE	DESCRIPTION
1	1/28/04	1.5
2	2/18/04	1.5
3	3/10/04	1.5
4	3/10/04	1.5
5	3/10/04	1.5
6	3/10/04	1.5
7	3/10/04	1.5
8	3/10/04	1.5
9	3/10/04	1.5
10	3/10/04	1.5

DATE	SHEET
2-27-04	A8.1

2-27-04 SECOND BLDG. DEPT. SUBMITTAL



UPPER FLOOR PLAN

LOWER FLOOR PLAN

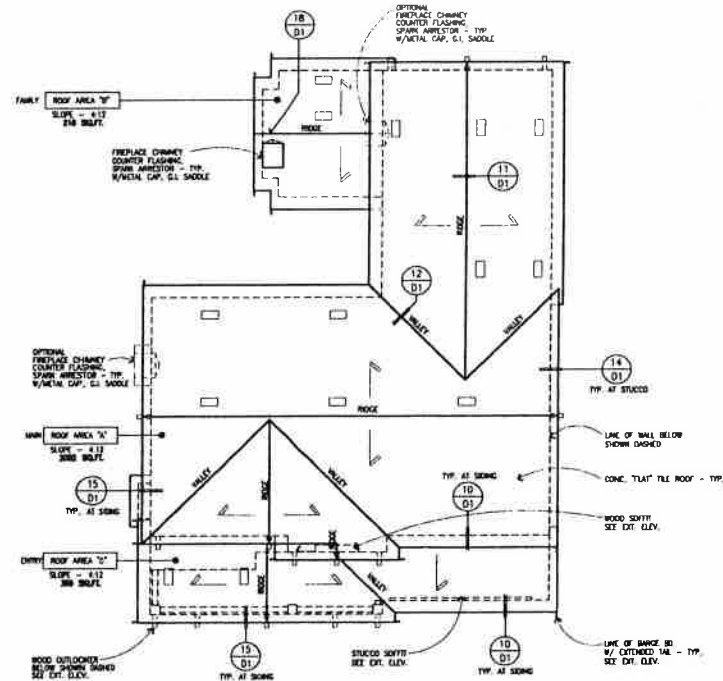
OPT. BDRM. 5

- FLOOR PLAN NOTES
1. INTER. ACCESS, OVERTOPS, AND OPENINGS FOR CALC. SECTION 1002.
 2. FINISHES, ACCESS, WEIGHTS OF LOADS, WEIGHTS AND IMPACTS CHECKS FOR CALC. SECTION 1010.
 3. PARTY WALLS, PER CALC. SECTION 1004.
 4. FACTORY-BUILT COMPONENTS AND DETAILS PER CALC. SECTION 1012A.
 5. COMPONENTS ARE TO BE PROVIDED BY OTHERS PER CALC. SECTION 1012B.
 6. CONDITIONS AS TO BATH VENTS, PER CALC. SECTION 1012A.
 7. OPERATIONS OF DOORS, PER CALC. SECTION 1001.
 8. SECTION 1001, PARTITION LOCATIONS AND DIMENSIONS, PER CALC. SECTION 1001.
 9. BATH VENTS, INSULATION FROM BATHS, PER CALC. SECTION 1012A.

FLOOR PLAN 8A - FRENCH COUNTRY

MAR032004
SCALE: 1/4" = 1'-0"

PLAN 8A - FRENCH COUNTRY



ROOF PLAN LEGEND

INDICATES 4:12 SLOPE/DIRECTION

INDICATES DOWNSLOPE IF REQUIRED

INDICATES ROOF SECTION IF REQUIRED

INDICATES LINE OF DRAINAGE

INDICATES LINE OF STRUCTURE

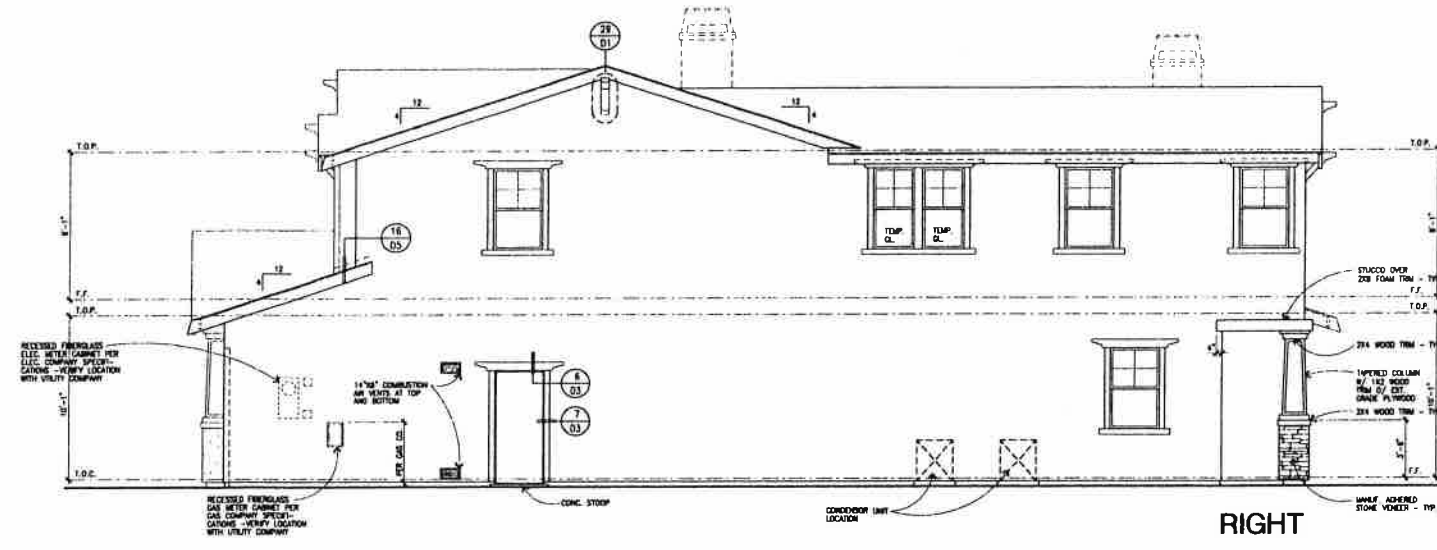
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES
- CHIMNEY FLASHINGS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- OVERLAP: 1" AT LINE CONDITIONS, 1/2" AT LINE CONDITIONS (UNLESS NOTED OTHERWISE)
- PROVIDE AT LEAST A SOFFIT VENTILATION AS PER SECTION 1503.1 OF THE 2001 CALIFORNIA BUILDING CODE

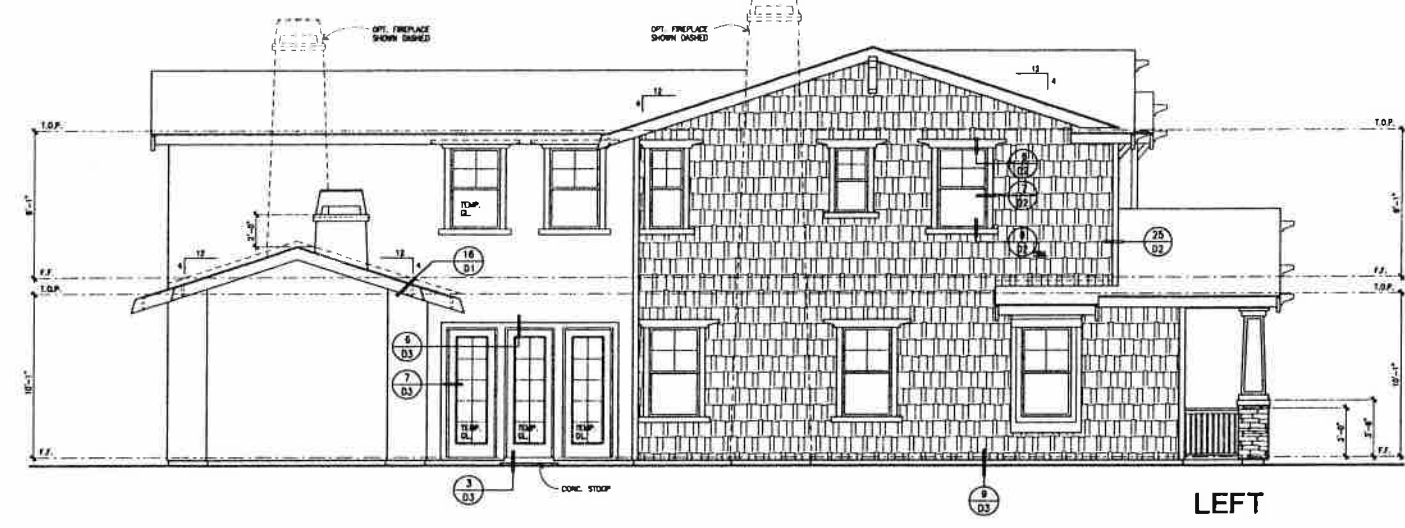
ATTC VENT REQUIREMENTS		
ATTC AREA	ROOF AREA 1'	ROOF AREA 2'
ATTC AREA	2000 SQ. FT.	218 SQ. FT.
PROVIDED:	(USE 1/200"-HIGH & LOW SIZ. REQUIRED AT UPPER 1/2 OF ROOF AREA)	(USE 1/200"-HIGH & LOW SIZ. REQUIRED AT UPPER 1/2 OF ROOF AREA)
CABLE VENTS	30 IN.	30 IN.
PROVIDED:	(1) CABLE VENT(S) AT 0 SQ. IN.	(1) CABLE VENT(S) AT 0 SQ. IN.
DORMER VENTS	300 SQ. IN.	100 SQ. IN.
PROVIDED: (HIGH)	(1) DORMER VENT(S) AT 100 SQ. IN.	(1) DORMER VENT(S) AT 100 SQ. IN.
UPPER PROVIDED:	500 SQ. IN.	100 SQ. IN.
UPPER REQUIRED:	500 SQ. IN.	50 SQ. IN.
EAVE VENTS	300 SQ. IN.	300 SQ. IN.
PROVIDED: (LOW)	(1) EAVE VENT(S) AT 0 SQ. IN.	(1) EAVE VENT(S) AT 0 SQ. IN.
ALTERNATE VENTS	300 SQ. IN.	300 SQ. IN.
PROVIDED: (LOW)	(1) EAVE VENT(S) AT 100 SQ. IN.	(1) EAVE VENT(S) AT 100 SQ. IN.
LOWER PROVIDED:	500 SQ. IN.	100 SQ. IN.
LOWER REQUIRED:	500 SQ. IN.	50 SQ. IN.
TOTAL PROVIDED:	1000 SQ. IN.	200 SQ. IN.
TOTAL REQUIRED:	500 SQ. IN.	100 SQ. IN.

ROOF PLAN

SCALE: 1/8" = 1'-0"



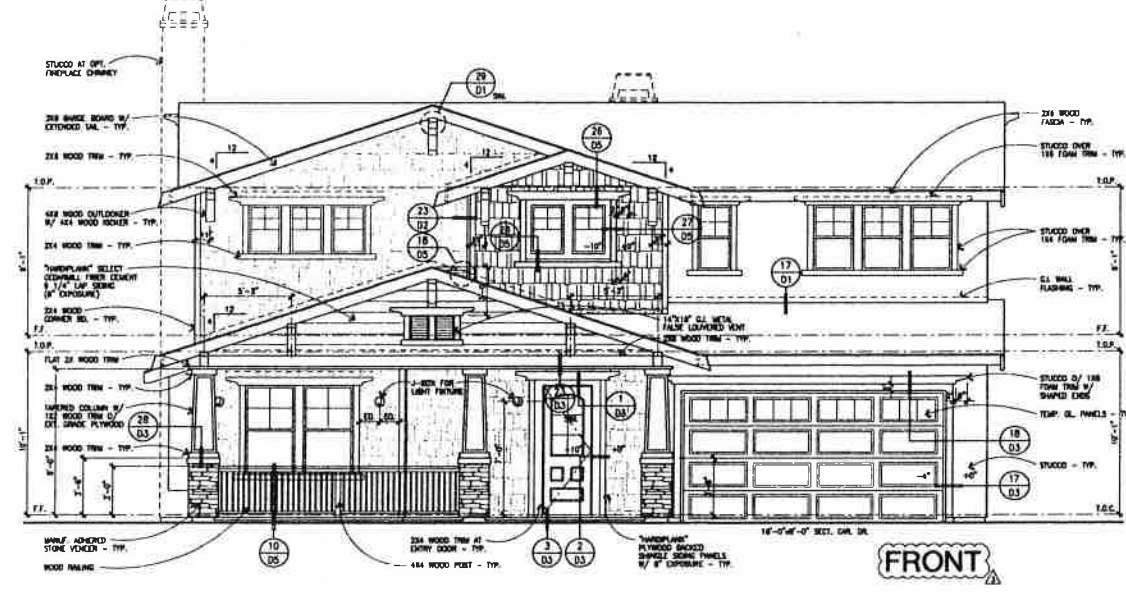
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS - PLAN 8C - CRAFTSMAN

SCALE: 1/4" = 1'-0"

WILLIAM HEZMALHALCH ARCHITECTS INC.
 300 BELL AVENUE, SUITE 200, SANTA ANA, CA 92705-0411
 949 250 0907 www.hezmalhalch.com fax 949 250 1579
 2875 HOPKIN ROAD, SUITE 325 PLEASANTON, CA 94566-0777
 925 463 1726 fax 925 463 1723

TRACT #5182
S.F.D.

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B9

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

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 ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS
 IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED,
 COPIED, OR COMPILED BY ANY FORM OF MEANS OR INFORMATION NOW
 OR YET TO BE ASSIGNED TO A THIRD PARTY WITHOUT WRITTEN
 PERMISSION FROM WILLIAM HEZMALHALCH ARCHITECTS, INC.
 ARCHITECTS, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF
 THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL BE
 WILLIAM HEZMALHALCH ARCHITECTS, INC. HIGHLANDS
 EXHIBIT B9 SCALE: PLANS

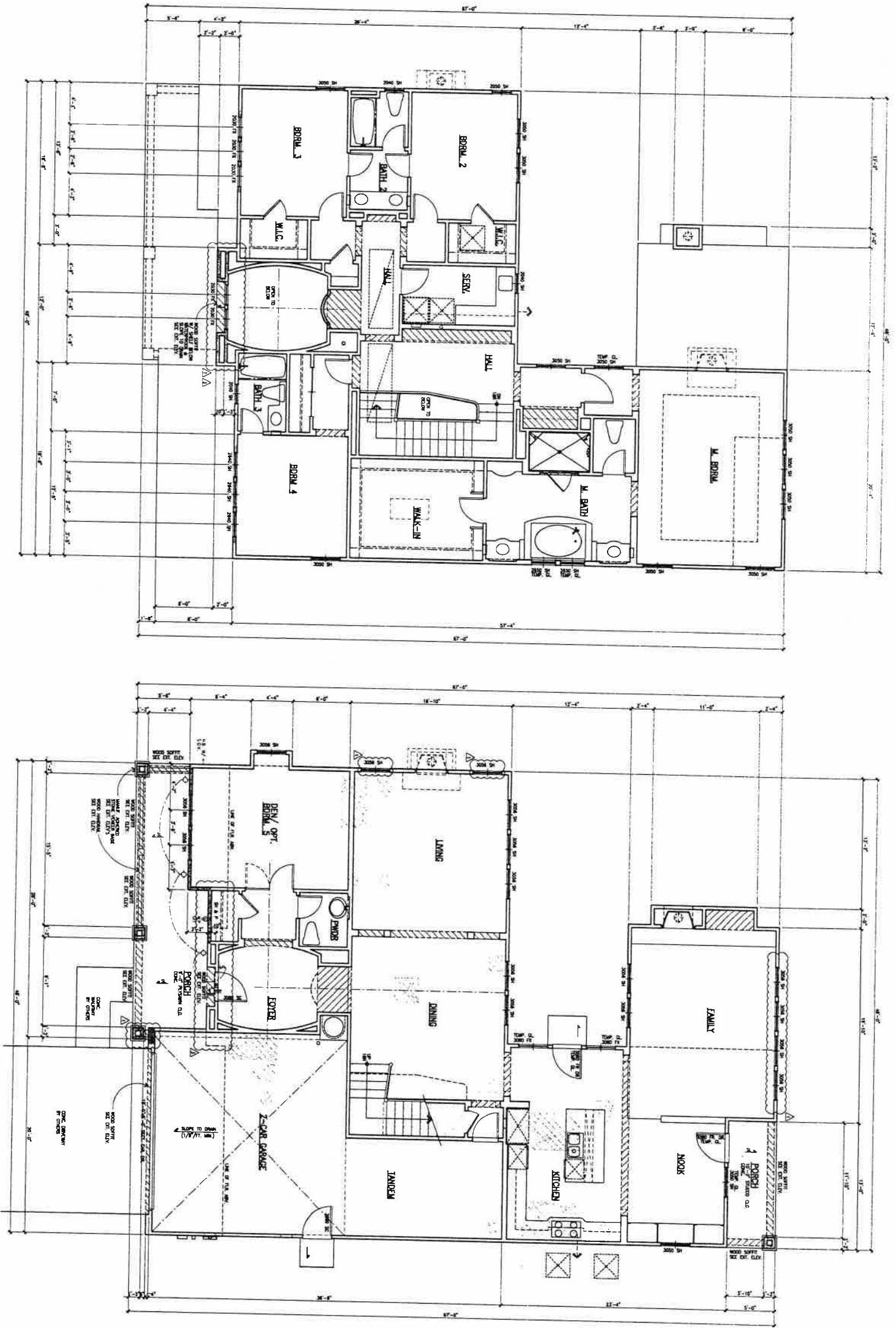
REVISIONS		
NO.	DATE	DESCRIPTION
3-22-04	CLUDY REV. - CRAFTSMAN	

PROJECT MANAGER: J.B.
 DESIGNER: T.B.
 DRAWN BY: J.B.
 REVIEWED BY: J.B.
 1ST BLDG. DEPT. SUBMITTAL: 9-2-03
 ISSUED FOR CONSTRUCTION:
 JOB NUMBER: 2001191
 CAD FILE NAME: 01151918.DWG

DATE: 4-29-04 SHEET: A8.6

PLAN 8C - CRAFTSMAN

©CRAFTSMAN™ ELEV. REVISION



UPPER FLOOR PLAN

LOWER FLOOR PLAN

ADDENDA FLOOR PLANS - PLAN 8C - CRAFTSMAN

SQUARE FOOTAGE TABLE

UPPER FLOOR PLAN	1727	SQ. FT.
LOWER FLOOR PLAN	1798	SQ. FT.
TOTAL	3525	SQ. FT.
CAR GARAGE	400	SQ. FT.
NET SQUARE FOOTAGE	3125	SQ. FT.
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.		

NOTE: OWNER SHALL VERIFY ALL SQUARE FOOTAGE WITH THE LOCAL BUILDING DEPARTMENT. THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACT. REFER TO THE CONTRACT AND SPECIFICATIONS FOR ALL DETAILS AND CONDITIONS. SCALE: 1/4" = 1'-0"

PLAN 8C - CRAFTSMAN

NO.	DATE	DESCRIPTION	CLIENT APPROVAL
1	8-23-03		
2	3-22-04	CLIENT REV. "CRAFTSMAN"	

PROJECT MANAGER	J.L.
DESIGNER	J.L.
DRAWN BY	J.L.
DATE	8-23-03
CLIENT APPROVAL	
DATE	8-23-03
PROJECT NAME	81111
DATE	4-29-04
SHEET	A8.5

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits F4

TRACT #5182
S.F.D.

WILLIAM HEMMALACH
ARCHITECT
20000 LARK STREET, SUITE 200
SANTA ANITA, CALIFORNIA 91357
TEL: 661-251-1111
WWW.WHARCHITECT.COM



HIGHLANDS
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

FROM: WILLIAM HEZUALHATCH ARCHITECTS, INC.

TO: CITY OF SIMI VALLEY ENVIRONMENTAL SERVICES DEPARTMENT

PROJECT: SECOND BLDG. DEPT. SUBMITTAL

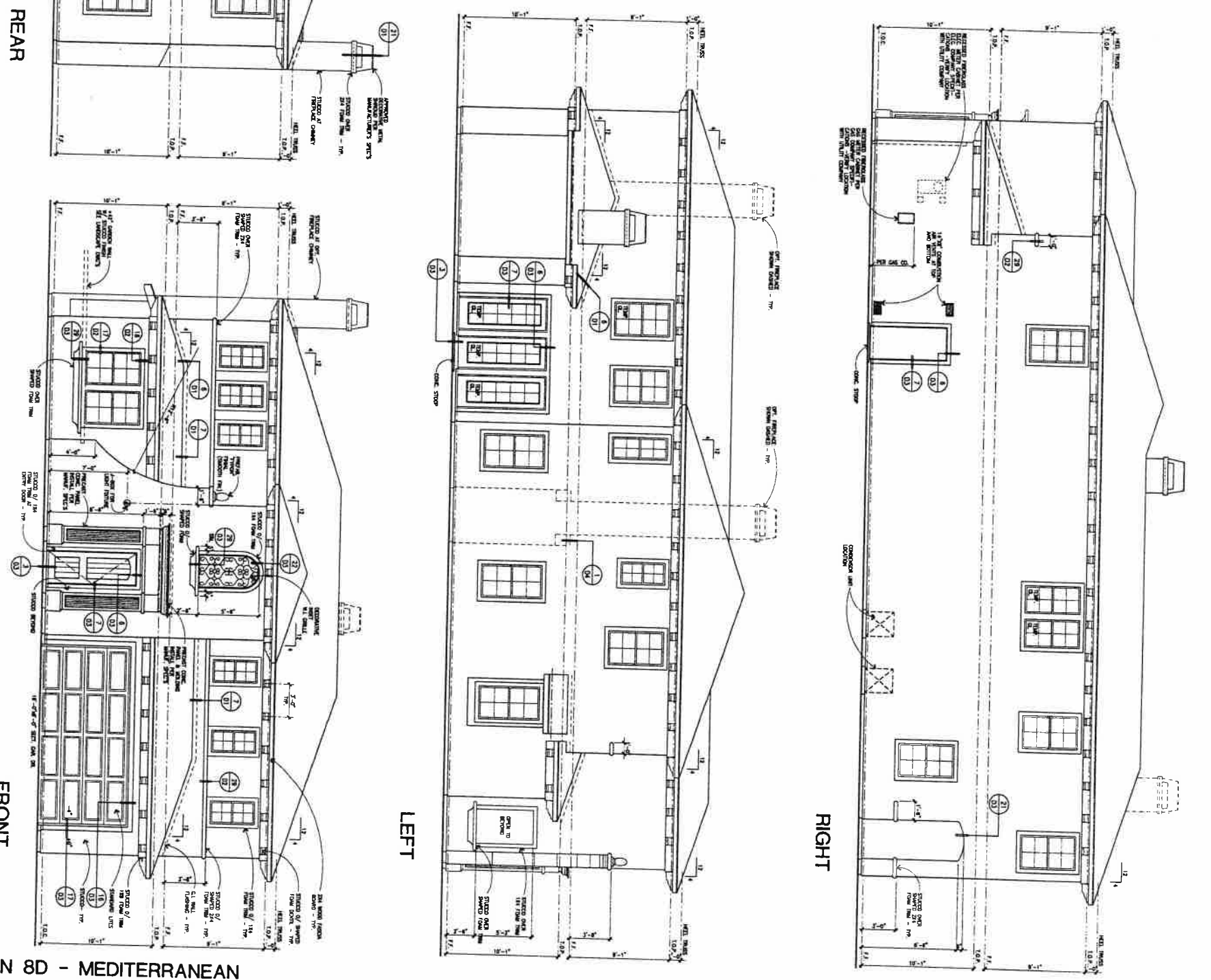
DATE: 2-27-04

SHEET: A8.8

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		REVISIONS
3		NOT SCALE
4		PLAN 8D

PLAN 8D - MEDITERRANEAN



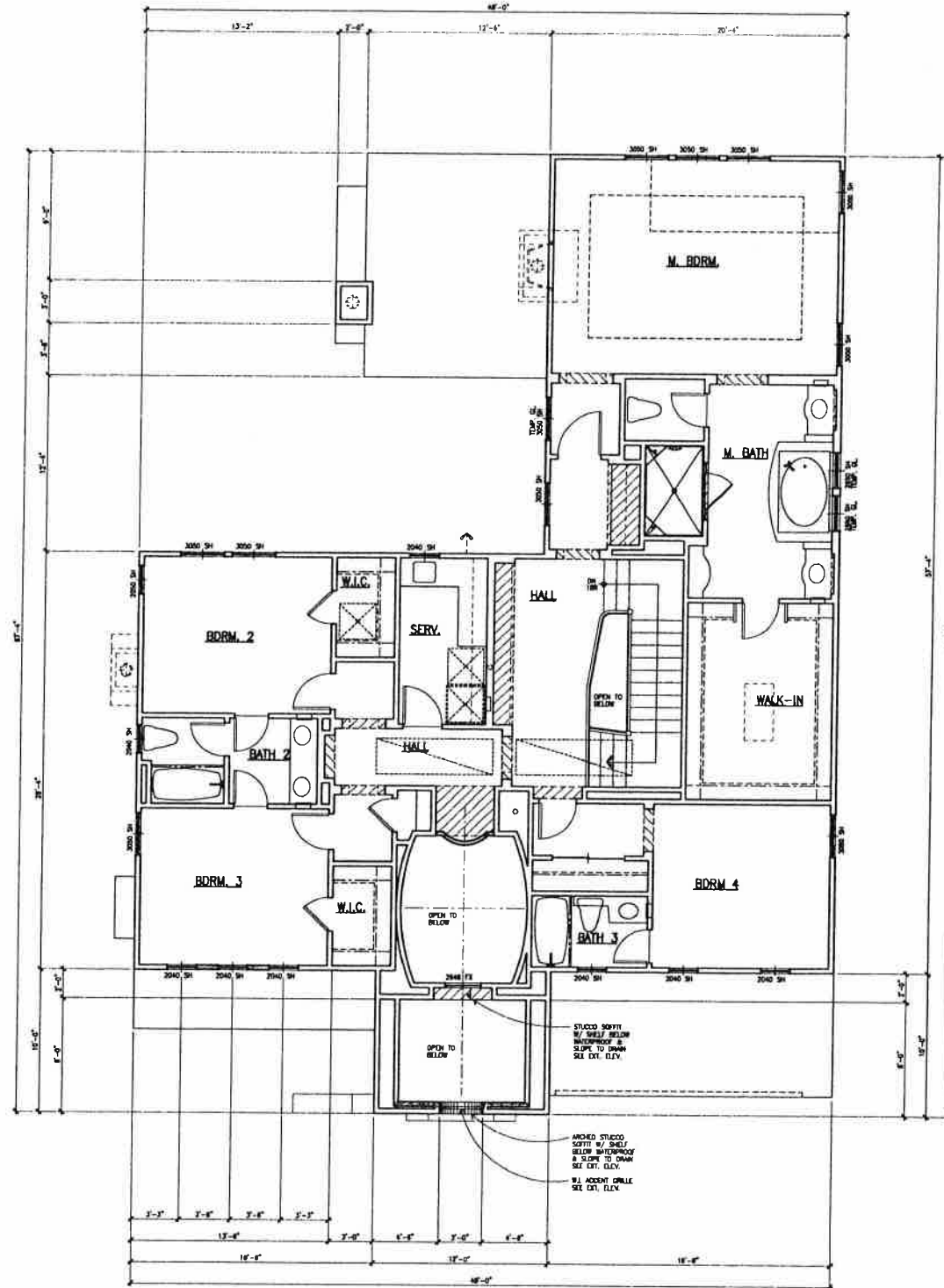
ROOF PLAN

SCALE: 1/8" = 1'-0"

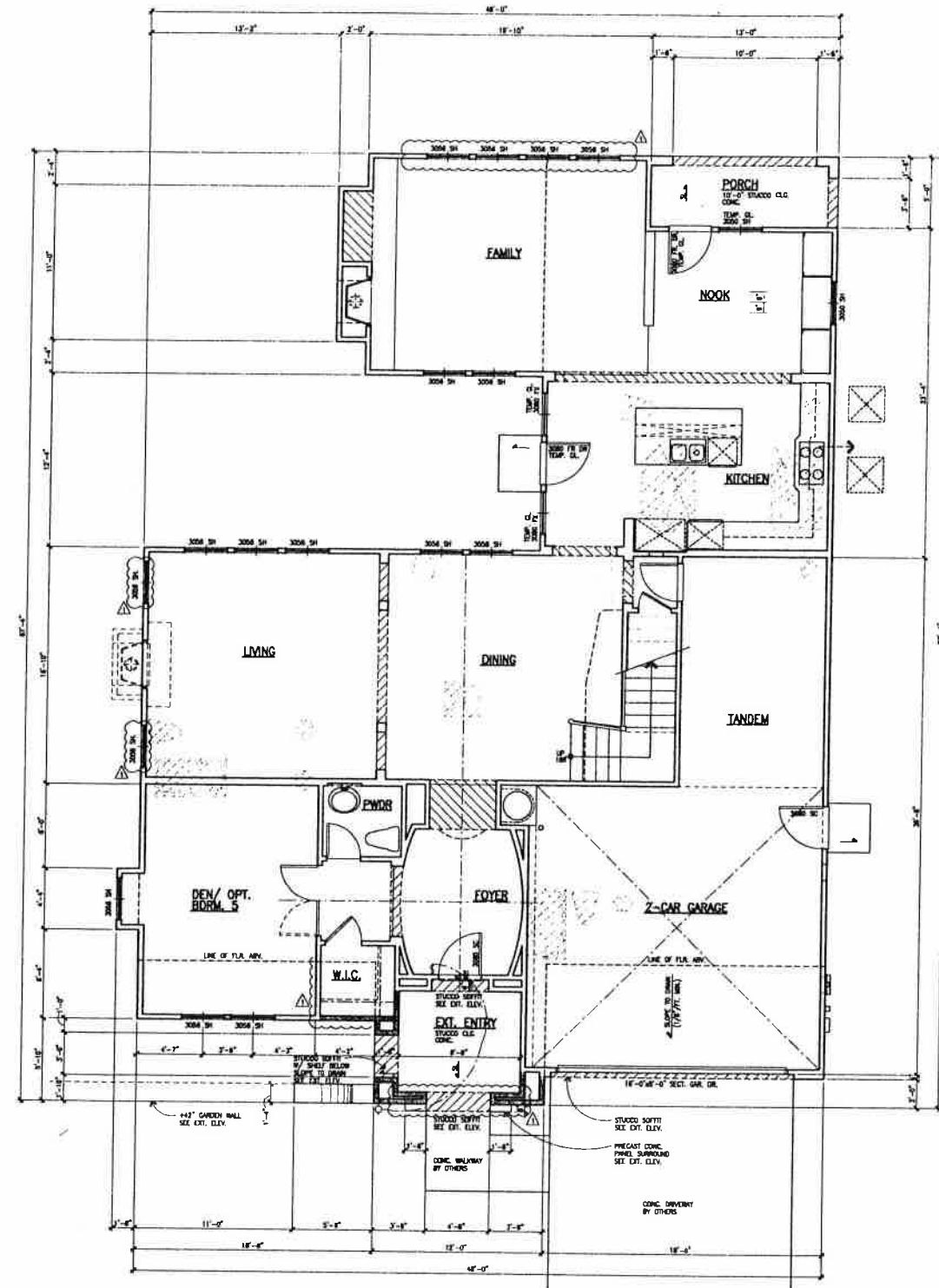
ROOF PLAN NOTES:
 1. SEE GENERAL NOTES FOR ROOF NOTES.
 2. ROOF FINISH: 2" POLYURETHANE FOAM INSULATION OVER 1/2" GYP BOARD.
 3. OVERLAP: 1/2" OVERLAP AT JOINTS.
 4. FLASHING: 1/2" ALUMINUM FLASHING AT ROOF EDGES.
 5. DRAINAGE: 1/2" ALUMINUM DRAINAGE AT ROOF EDGES.

LINE NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
2	1/2" GYP BOARD	100	SQ. YD.	100
3	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
4	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
5	1/2" GYP BOARD	100	SQ. YD.	100
6	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
7	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
8	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
9	1/2" GYP BOARD	100	SQ. YD.	100
10	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
11	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
12	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
13	1/2" GYP BOARD	100	SQ. YD.	100
14	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
15	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
16	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
17	1/2" GYP BOARD	100	SQ. YD.	100
18	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
19	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
20	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
21	1/2" GYP BOARD	100	SQ. YD.	100
22	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
23	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
24	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
25	1/2" GYP BOARD	100	SQ. YD.	100
26	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
27	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
28	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
29	1/2" GYP BOARD	100	SQ. YD.	100
30	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
31	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
32	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
33	1/2" GYP BOARD	100	SQ. YD.	100
34	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
35	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
36	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
37	1/2" GYP BOARD	100	SQ. YD.	100
38	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
39	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
40	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
41	1/2" GYP BOARD	100	SQ. YD.	100
42	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
43	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
44	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
45	1/2" GYP BOARD	100	SQ. YD.	100
46	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
47	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
48	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
49	1/2" GYP BOARD	100	SQ. YD.	100
50	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
51	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
52	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
53	1/2" GYP BOARD	100	SQ. YD.	100
54	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
55	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
56	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
57	1/2" GYP BOARD	100	SQ. YD.	100
58	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
59	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
60	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
61	1/2" GYP BOARD	100	SQ. YD.	100
62	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
63	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
64	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
65	1/2" GYP BOARD	100	SQ. YD.	100
66	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
67	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
68	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
69	1/2" GYP BOARD	100	SQ. YD.	100
70	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
71	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
72	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
73	1/2" GYP BOARD	100	SQ. YD.	100
74	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
75	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
76	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
77	1/2" GYP BOARD	100	SQ. YD.	100
78	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
79	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
80	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
81	1/2" GYP BOARD	100	SQ. YD.	100
82	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
83	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
84	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
85	1/2" GYP BOARD	100	SQ. YD.	100
86	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
87	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
88	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
89	1/2" GYP BOARD	100	SQ. YD.	100
90	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
91	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
92	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
93	1/2" GYP BOARD	100	SQ. YD.	100
94	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
95	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
96	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10
97	1/2" GYP BOARD	100	SQ. YD.	100
98	1/2" POLYURETHANE FOAM INSULATION	100	SQ. YD.	100
99	1/2" ALUMINUM FLASHING	10	LINEAL FT.	10
100	1/2" ALUMINUM DRAINAGE	10	LINEAL FT.	10

EXTERIOR ELEVATIONS - PLAN 8D - MEDITERRANEAN



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SQUARE FOOTAGE TABLE:

UPPER FLOOR PLAN	1776	SQ. FT.
LOWER FLOOR PLAN	1768	SQ. FT.
TOTAL SQ. FT.	3544	SQ. FT.
GARAGE	800	SQ. FT.
EXT. ENTRY	72	SQ. FT.
REAR PORCH	80	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

MAR 03 2004

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE ENGINEER'S SITE PLAN FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET AB.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SCALE: 1/4" = 1'-0"

W
 WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 703 PENN. AVENUE, SUITE 200, SANTA ANA, CA 92705-5643
 949.296.0607 www.whezharch.com fax 949.250.1329
 3875 HOPKINSON ROAD, SUITE 205, PLEASANTON, CA 94588-8577
 925.463.1700 fax 925.463.1725

TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
 PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits F5

HIGHLANDS
 SIMI VALLEY, CALIFORNIA

D.R. HORTON
 VALENCIA, CALIFORNIA

PLAN 8D - MEDITERRANEAN

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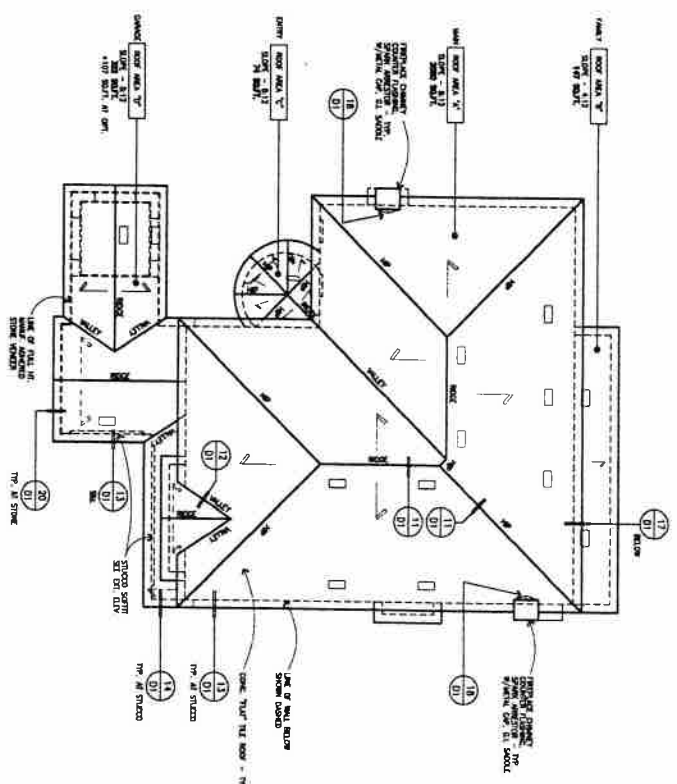
REVISIONS

NO.	DATE	DESCRIPTION
1	9-23-03	CLIENT REVISIONS

PROJECT MANAGER:	J.B.
DESIGNER:	T.M.
DRAWN BY:	J.B.
REVIEWED BY:	J.B.
LET BLDG. DEPT. SUBMITTAL:	9-2-03
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2001151
CAD FILE NAME:	01151AB7.DWG

DATE:	2-27-04	SHEET:	A8.7
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2-27-04 SECOND BLDG. DEPT. SUBMITTAL

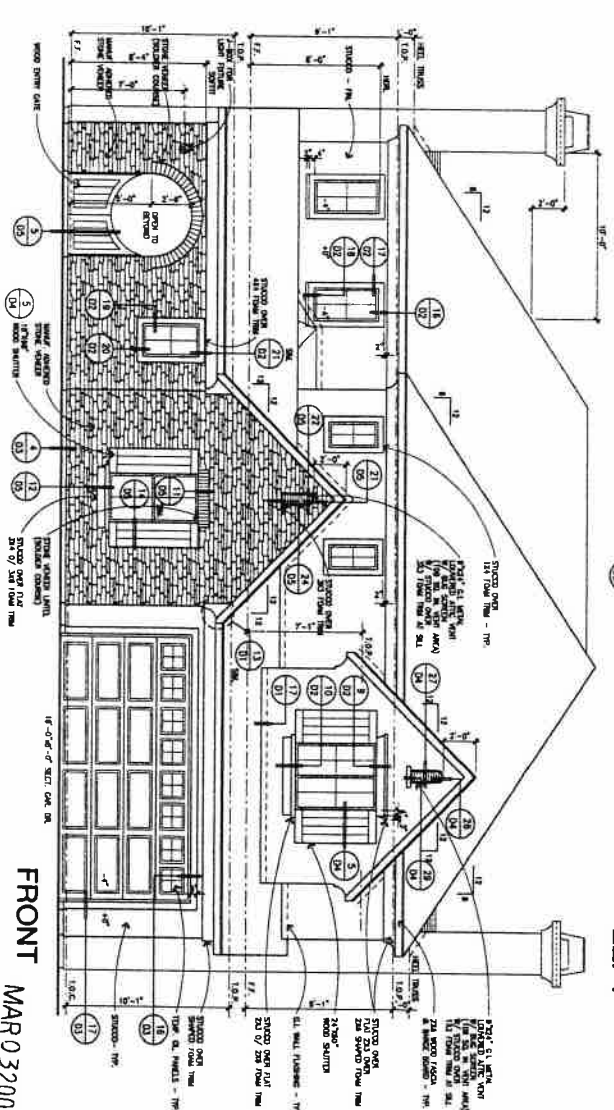
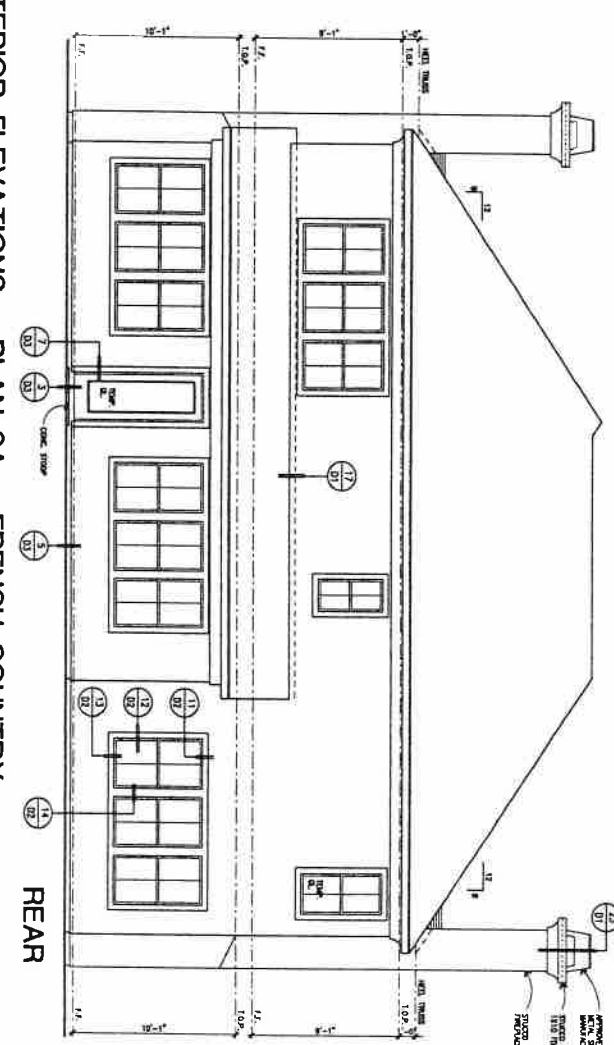
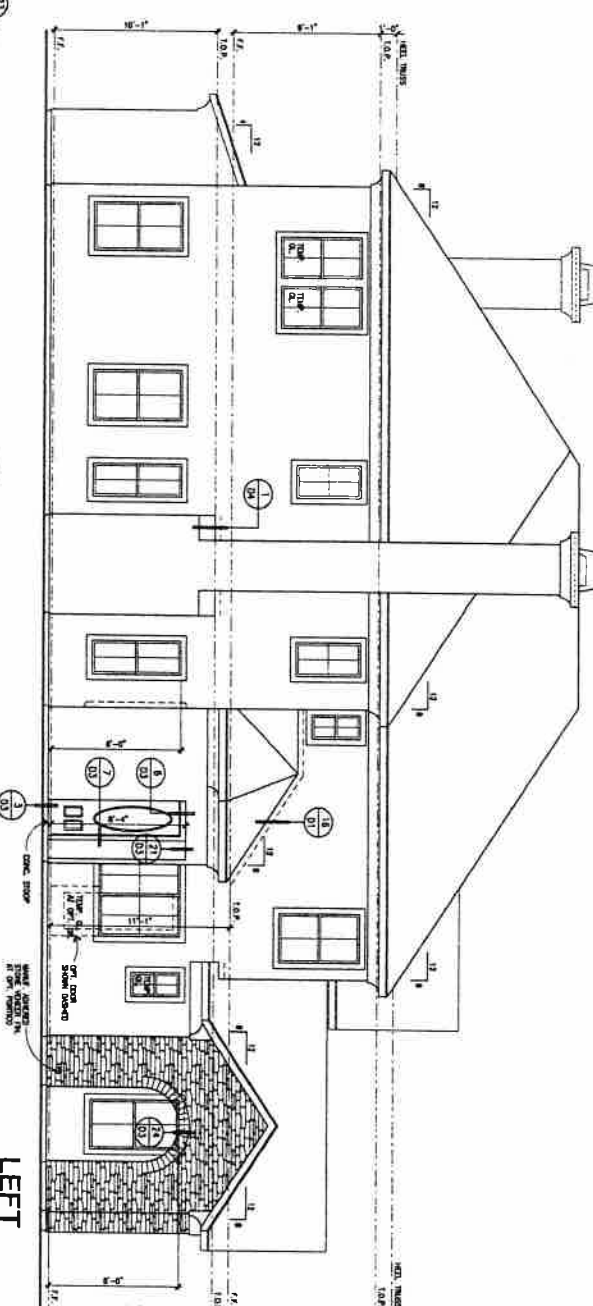
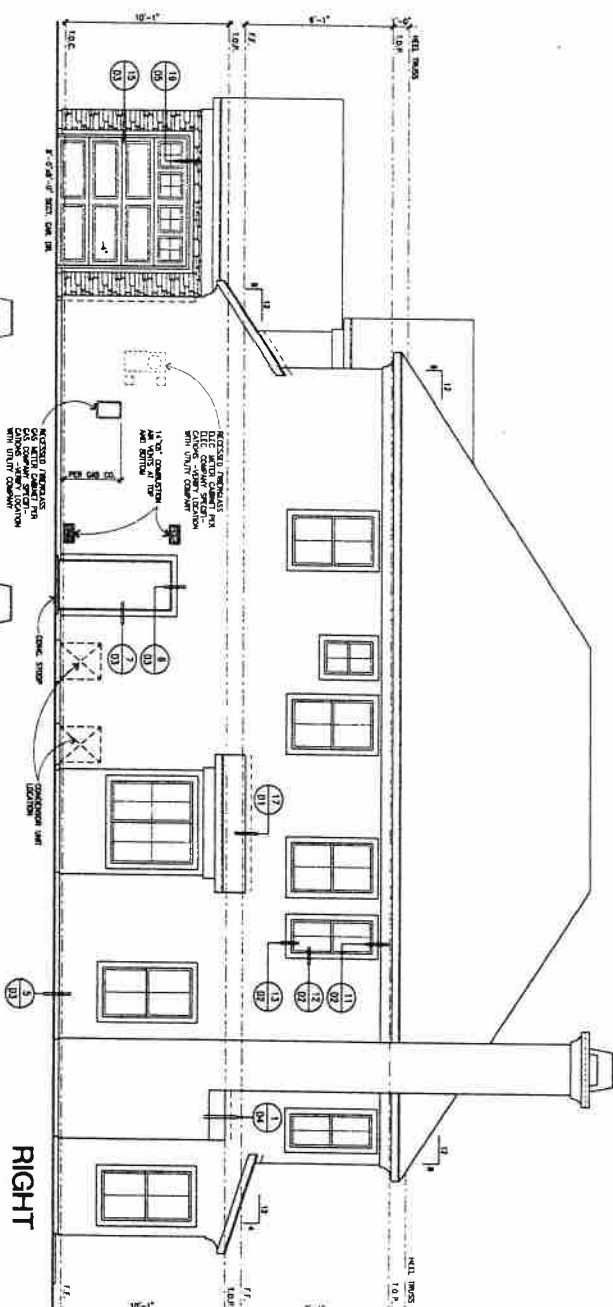


ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF AREA LIST

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. YD.)
1	ROOF AREA 'A'	1,100.00	127.78
2	ROOF AREA 'B'	1,100.00	127.78
3	ROOF AREA 'C'	1,100.00	127.78
4	ROOF AREA 'D'	1,100.00	127.78
5	ROOF AREA 'E'	1,100.00	127.78
6	ROOF AREA 'F'	1,100.00	127.78
7	ROOF AREA 'G'	1,100.00	127.78
8	ROOF AREA 'H'	1,100.00	127.78
9	ROOF AREA 'I'	1,100.00	127.78
10	ROOF AREA 'J'	1,100.00	127.78
11	ROOF AREA 'K'	1,100.00	127.78
12	ROOF AREA 'L'	1,100.00	127.78
13	ROOF AREA 'M'	1,100.00	127.78
14	ROOF AREA 'N'	1,100.00	127.78
15	ROOF AREA 'O'	1,100.00	127.78
16	ROOF AREA 'P'	1,100.00	127.78
17	ROOF AREA 'Q'	1,100.00	127.78
18	ROOF AREA 'R'	1,100.00	127.78
19	ROOF AREA 'S'	1,100.00	127.78
20	ROOF AREA 'T'	1,100.00	127.78
21	ROOF AREA 'U'	1,100.00	127.78
22	ROOF AREA 'V'	1,100.00	127.78
23	ROOF AREA 'W'	1,100.00	127.78
24	ROOF AREA 'X'	1,100.00	127.78
25	ROOF AREA 'Y'	1,100.00	127.78
26	ROOF AREA 'Z'	1,100.00	127.78



EXTERIOR ELEVATIONS - PLAN 9A - FRENCH COUNTRY

FRONT SCALE: 1/4" = 1'-0"

PLAN 9A - FRENCH COUNTRY

NO.	DATE	DESCRIPTION
1	2-27-04	ISSUED FOR PERMIT
2	2-27-04	REVISED PER COMMENTS
3	2-27-04	REVISED PER COMMENTS
4	2-27-04	REVISED PER COMMENTS
5	2-27-04	REVISED PER COMMENTS
6	2-27-04	REVISED PER COMMENTS
7	2-27-04	REVISED PER COMMENTS
8	2-27-04	REVISED PER COMMENTS
9	2-27-04	REVISED PER COMMENTS
10	2-27-04	REVISED PER COMMENTS
11	2-27-04	REVISED PER COMMENTS
12	2-27-04	REVISED PER COMMENTS
13	2-27-04	REVISED PER COMMENTS
14	2-27-04	REVISED PER COMMENTS
15	2-27-04	REVISED PER COMMENTS
16	2-27-04	REVISED PER COMMENTS
17	2-27-04	REVISED PER COMMENTS
18	2-27-04	REVISED PER COMMENTS
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27	2-27-04	REVISED PER COMMENTS
28	2-27-04	REVISED PER COMMENTS
29	2-27-04	REVISED PER COMMENTS
30	2-27-04	REVISED PER COMMENTS

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B13

TRACT #5182
S.F.D.

WILLIAM HEZMALALCH
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TEL: (408) 951-1111
WWW.HEZMALALCH.COM



TRACT #5182
 S.F.D.

City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits B14

HIGHLANDS
 SIMI VALLEY, CALIFORNIA

 D.R. HORTON
 VALENCIA, CALIFORNIA

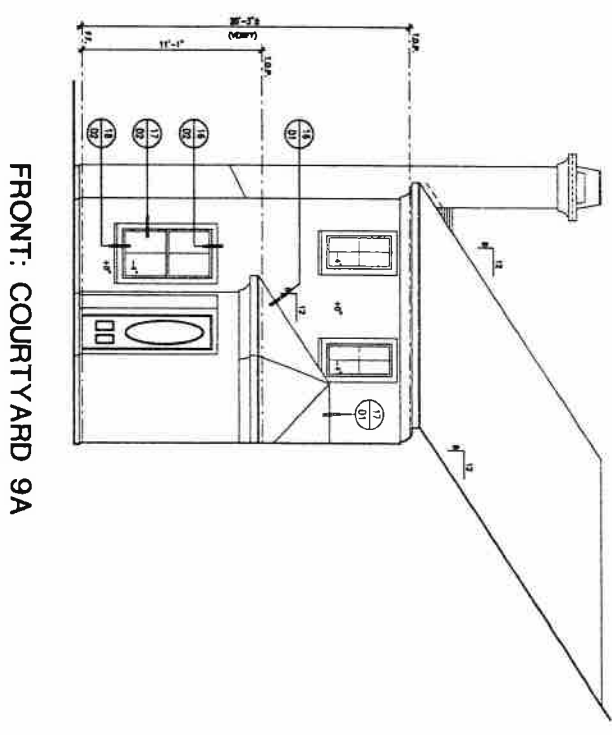
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REVISIONS

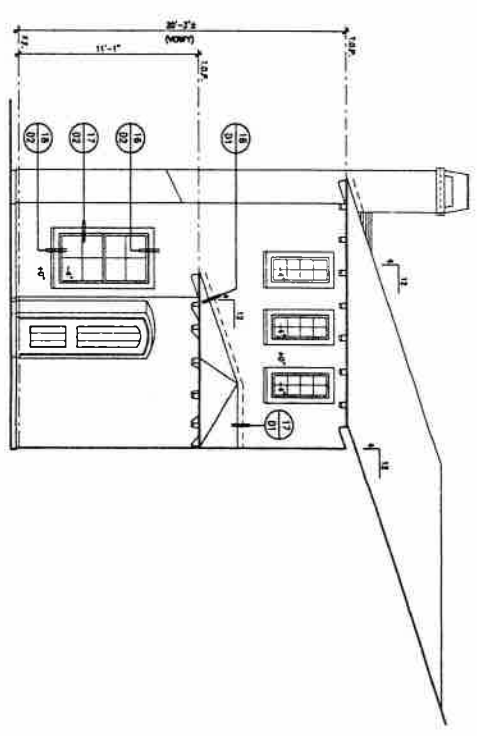
NO.	DATE	DESCRIPTION

PROJECT NUMBER	1.8
DESIGNER	1.8
DRAWN BY	1.8
REVIEWED BY	1.8
LET TITLE DATE SUBMITTED	6/28/03
EXHIBITION DATES	02/11/04
DATE	02/11/04
SHEET	A9.4.1

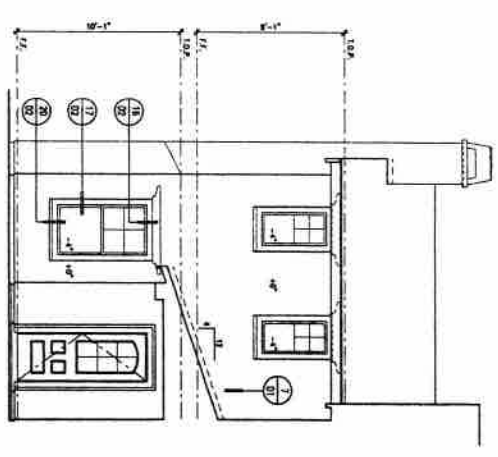
PLAN 9 - EXTERIOR COURTYARD ELEVATIONS



FRONT: COURTYARD 9A



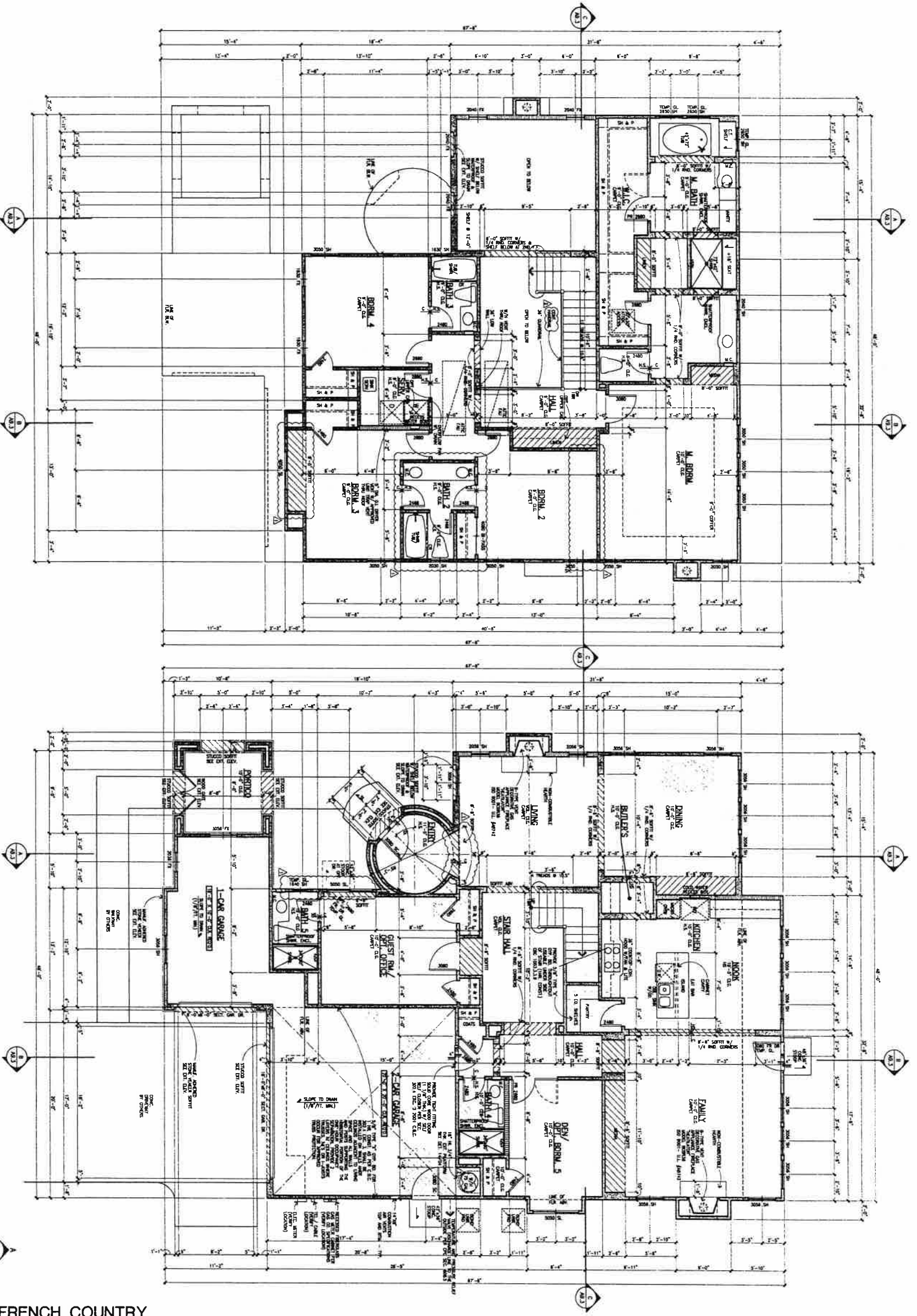
FRONT: COURTYARD 9B



FRONT: COURTYARD 9C

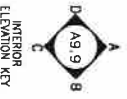
EXTERIOR COURTYARD ELEVATIONS

MAR032004
 SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN

LOWER FLOOR PLAN



INTERIOR KEY
ELEVATION KEY

PLAN 9A - FRENCH COUNTRY

- FLOOR PLAN NOTES**
1. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100A.
 2. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100B.
 3. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100C.
 4. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100D.
 5. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100E.
 6. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100F.
 7. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100G.
 8. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100H.
 9. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100I.
 10. FINISH ACCESS, SHOWN WITH DIMENSIONS, FOR CALC. SECTION 100J.

PLAN 9A - FRENCH COUNTRY

SQUARE FOOTAGE TABLE

ROOM NAME	AREA	PERCENT
UPPER FLOOR PLAN	1948	50.71
LOWER FLOOR PLAN	1912	50.71
TOTAL	3860	100.00

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

MAR 03 2004
SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	2-27-04	CLIENT REVISIONS
2	1-23-04	REV. 01 - CORRECTIONS

PROJECT INFORMATION

PROJECT NUMBER	DATE
118	2-27-04
119	2-27-04
120	2-27-04
121	2-27-04
122	2-27-04
123	2-27-04
124	2-27-04
125	2-27-04
126	2-27-04
127	2-27-04
128	2-27-04
129	2-27-04
130	2-27-04

DATE: 2-27-04
SHEET: A9.1

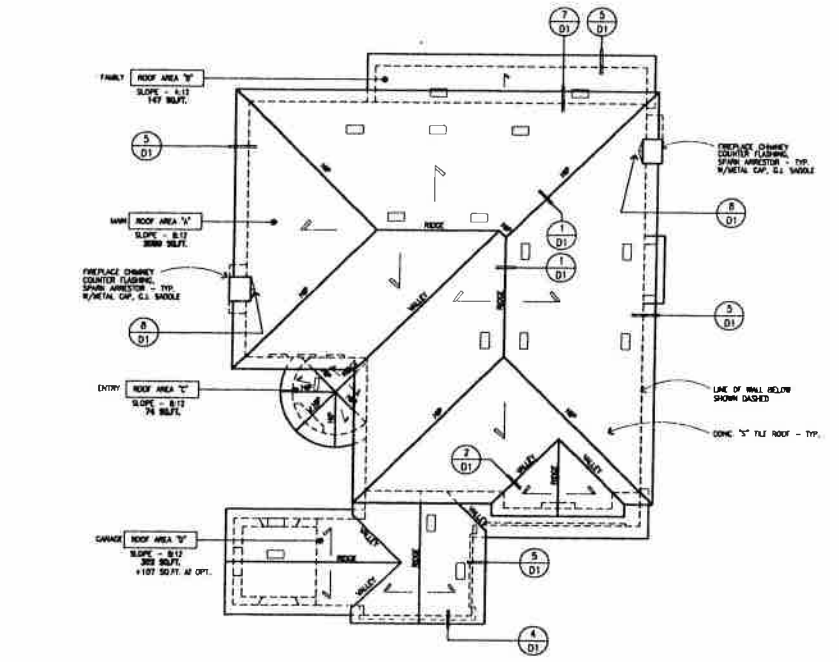
HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits F6

TRACT #5182
S.F.D.

WILLIAM HEZMAVATHALCH
ARCHITECTS, INC.
28110 ANTELOPE DRIVE, SUITE 200, RIVERSIDE, CA 92504
TEL: 951-514-1100
FAX: 951-514-1175



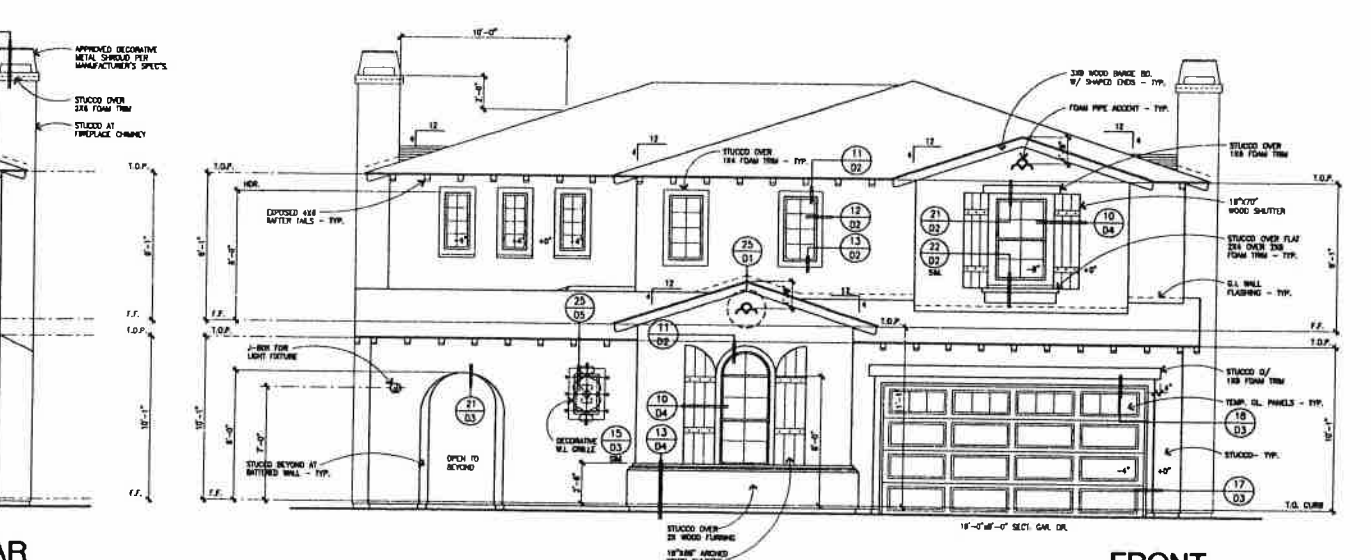
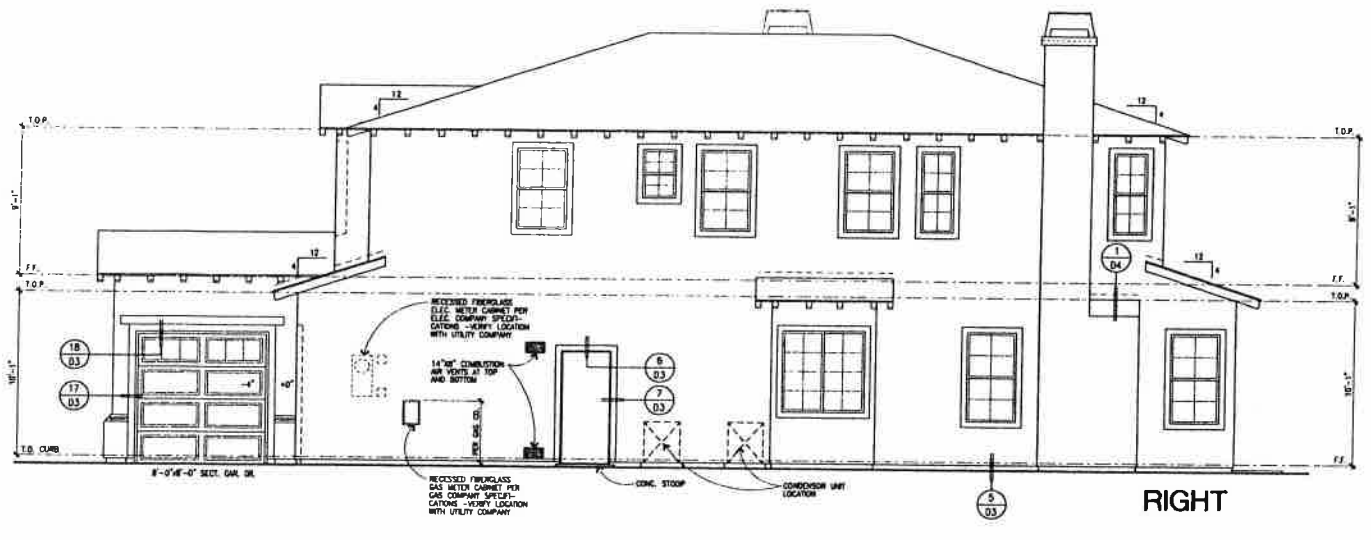
ROOF PLAN LEGEND

1. SEE GENERAL NOTES FOR ROOF NOTES
 2. SPARK ARRESTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
 3. OVERHANGS 18" AT EAVE CHANGING (TYPICAL NOTES OVERHANGS)
 4. PROVIDE ATIC & GUTTER VENTILATION AS PER SECTION 1103.2 OF THE 2007 CALIFORNIA BUILDING CODE.

ATIC VENT REQUIREMENTS

ATIC AREA	ROOF AREA 1" SLOPE = 8/12	ROOF AREA 1" SLOPE = 1/12	ROOF AREA 1" SLOPE = 3/12	ROOF AREA 1" SLOPE = 4/12	ROOF AREA 1" SLOPE = 12/12
PROVIDED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
REQUIRED (MIN)	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
REQUIRED (MAX)	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
UPPER PROVIDED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
UPPER REQUIRED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
LOWER PROVIDED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
LOWER REQUIRED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
TOTAL PROVIDED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.
TOTAL REQUIRED	300 SQ.FT.	100 SQ.FT.	50 SQ.FT.	30 SQ.FT.	15 SQ.FT.

ROOF PLAN SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS - PLAN 9B - SPANISH COLONIAL

TRACT #5182
 S.F.D.
 City of Simi Valley
 Environmental Services Department
 May 28, 2004
 Case No. PD-S-940 ADJ #1
 PD-S-941 ADJ #1 (HIGHLANDS)
 Exhibits B15

HIGHLANDS
 SIMI VALLEY, CALIFORNIA
 D.R. HORTON
 VALENCIA, CALIFORNIA

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NO. DATE DESCRIPTION

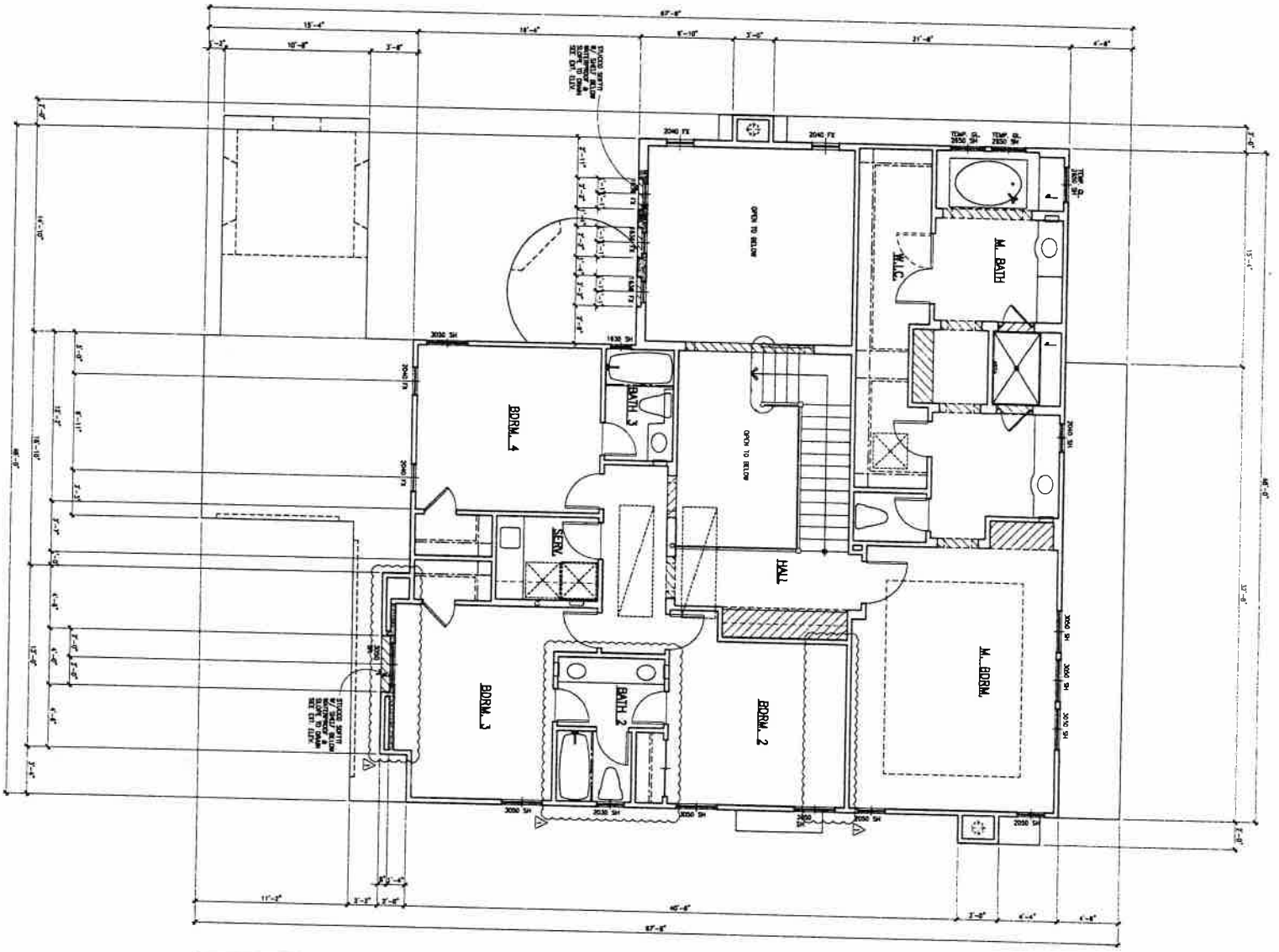
PROJECT MANAGER J.B.B.
 DESIGNER J.B.B.
 DRAWN BY J.B.B.
 REVIEWED BY J.B.B.
 1ST BLDG. DEPT. SUBMITTAL: 9-2-03
 ISSUED FOR CONSTRUCTION
 JOB NUMBER 3001151
 CAD FILE NAME 011313A08.DWG

DATE: 2-27-04 SHEET: A9.6

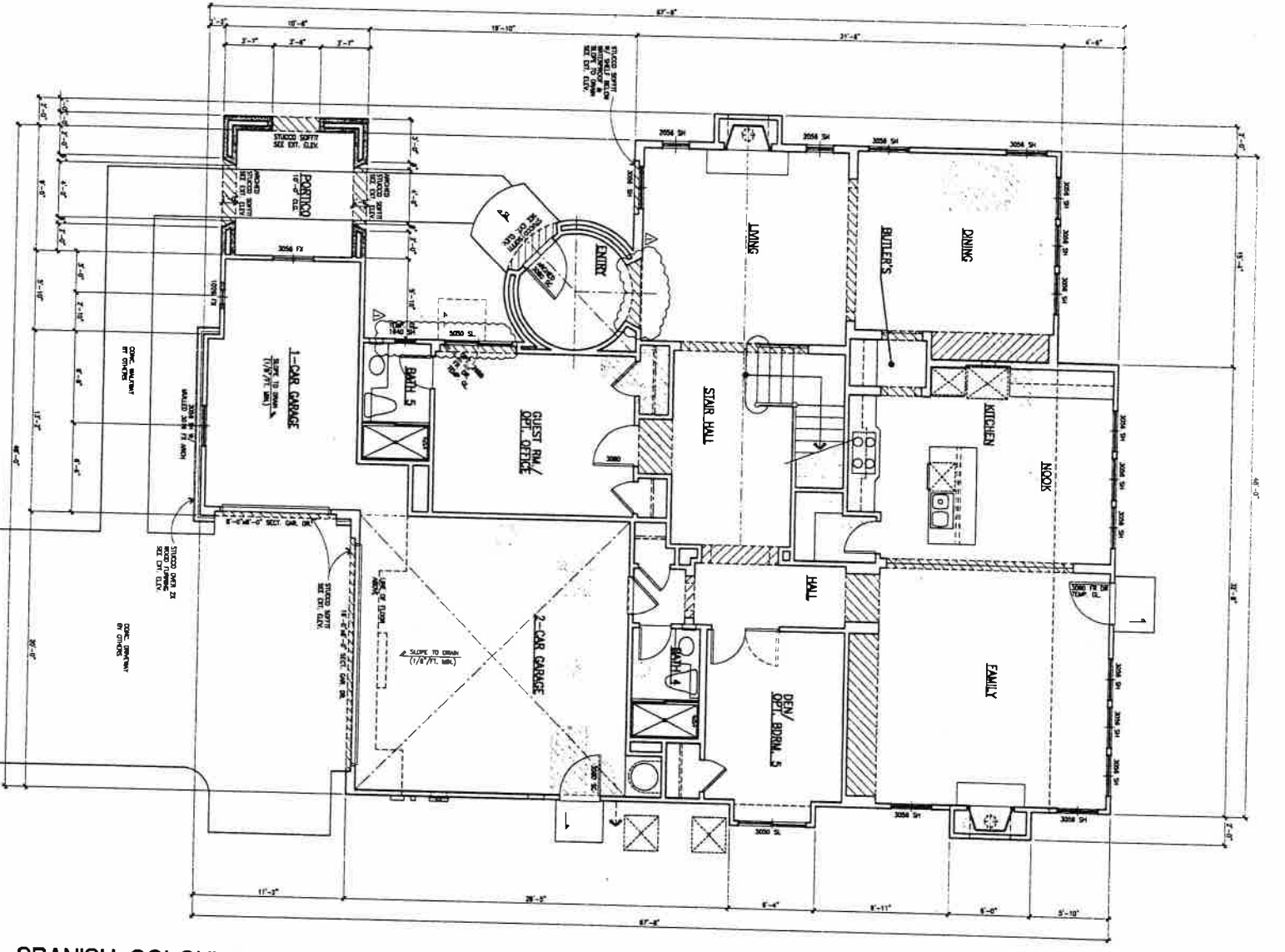
2-27-04 SECOND BLDG. DEPT. SUBMITTAL

PLAN 9B - SPANISH COLONIAL

MAR 03 2004
 SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN



LOWER FLOOR PLAN

PLAN 9B - SPANISH COLONIAL

MAR032004

SQUARE FOOTAGE TABLE:

UPPER FLOOR PLAN	1800	SQ. FT.
LOWER FLOOR PLAN	1400	SQ. FT.
TOTAL	3200	SQ. FT.
DATE	04/01/04	SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	4-23-03	CADRE REVISION

REVISIONS

PROJECT NUMBER: 2.1
 DESIGNER: J.B.
 DRAWN BY: J.B.
 CHECKED BY: J.B.
 DATE: 2-27-04

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

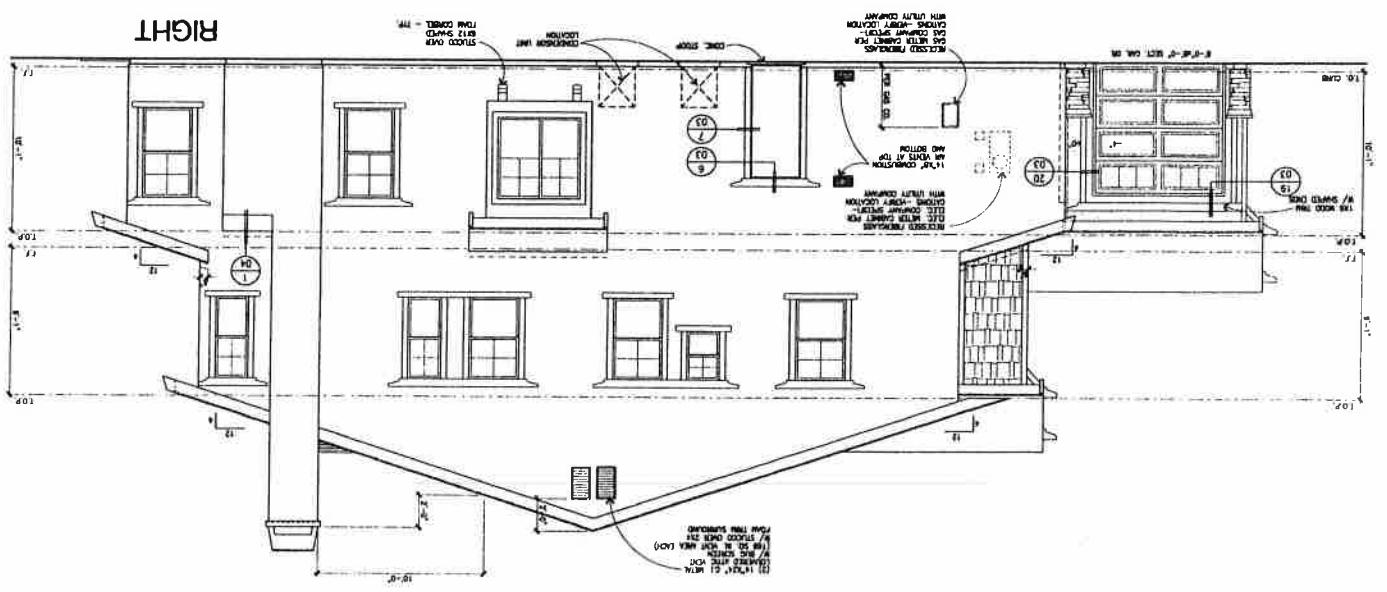
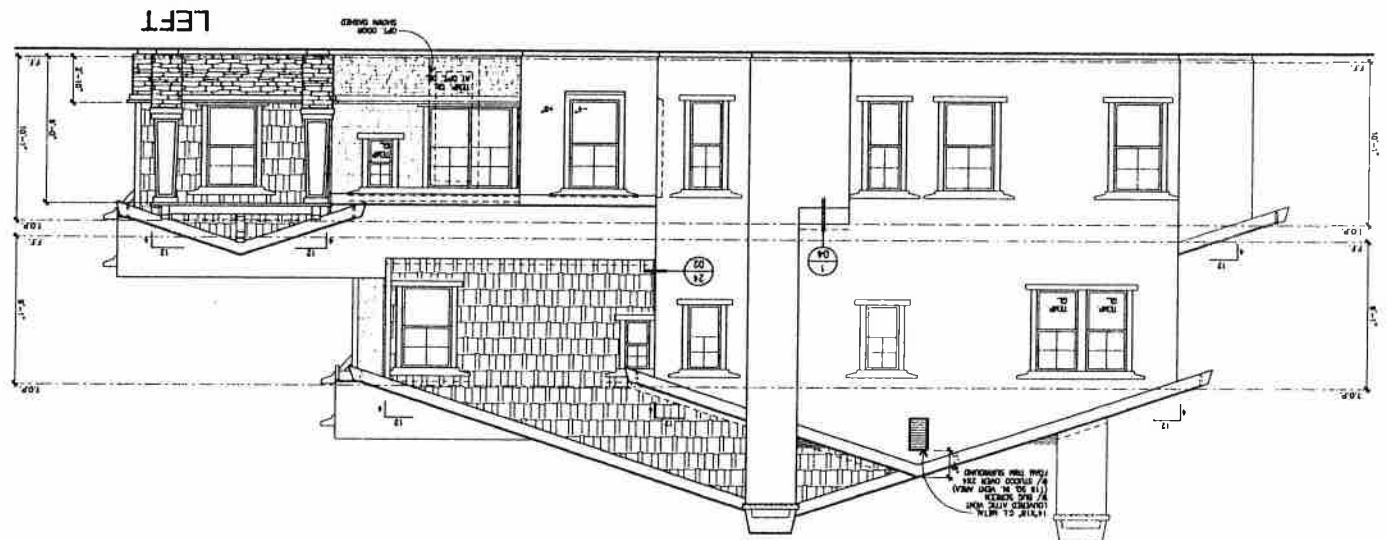
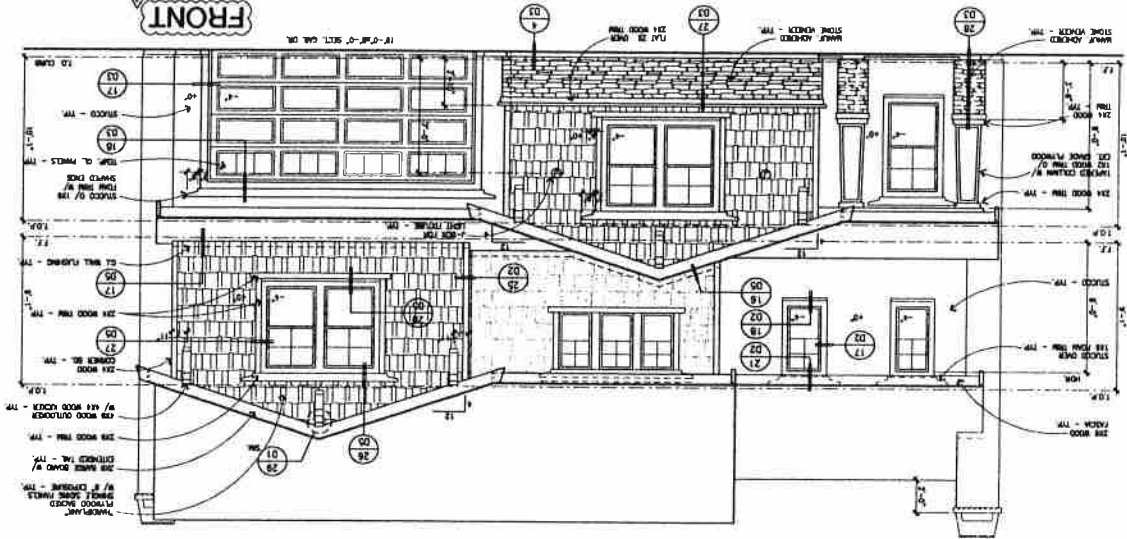
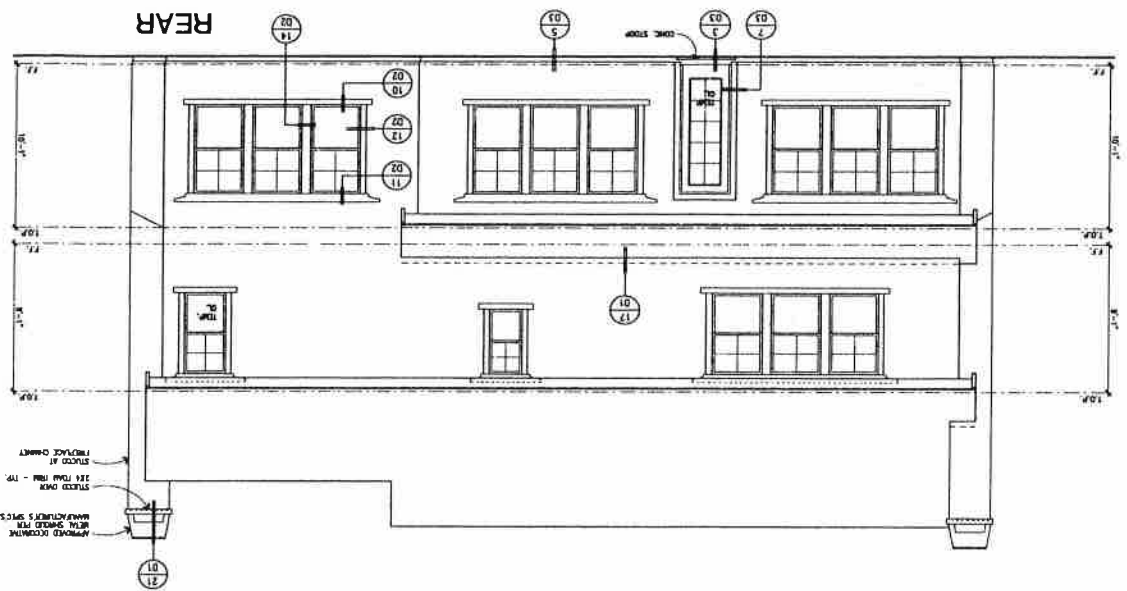
City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits F7

TRACT #5182
S.F.D.

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3450 VAN DYKE AVENUE, SUITE 200
VAN DYKE, CALIFORNIA 91327
TEL: 661-251-1100
FAX: 661-251-1101

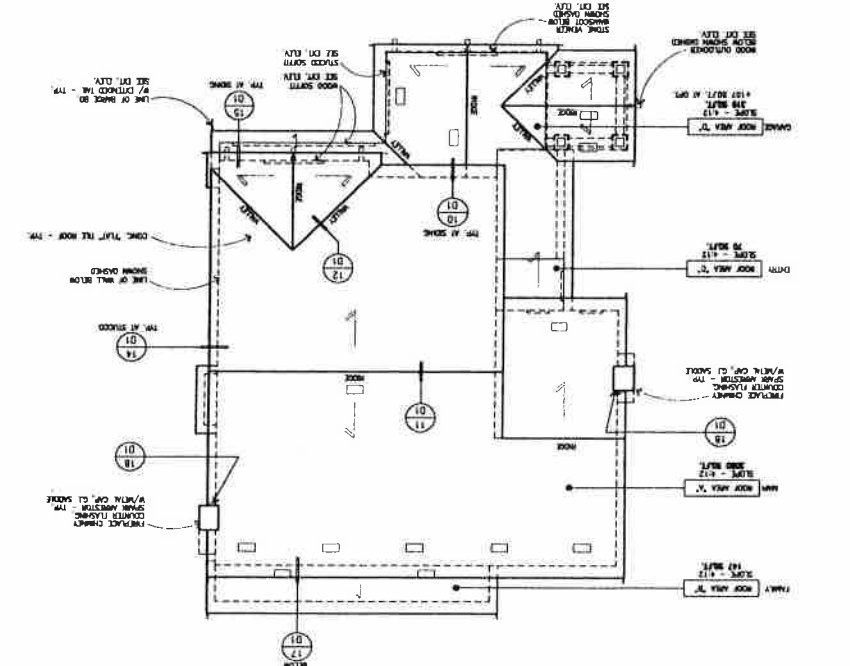


EXTERIOR ELEVATIONS - PLAN 9C - CRAFTSMAN



ROOF PLAN SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	AMOUNT	UNIT
1	ROOF SHEETING	1152	SQ. FT.
2	ROOF TRUSS	200	EA.
3	ROOF BRACE	100	EA.
4	ROOF JOIST	100	EA.
5	ROOF RAFTER	100	EA.
6	ROOF GIRD	100	EA.
7	ROOF HANGING	100	EA.
8	ROOF COLLAR	100	EA.
9	ROOF BRACKET	100	EA.
10	ROOF HITCH	100	EA.
11	ROOF KNUCKLE	100	EA.
12	ROOF PLATE	100	EA.
13	ROOF END PLATE	100	EA.
14	ROOF CHAIR	100	EA.
15	ROOF BRACE	100	EA.
16	ROOF JOIST	100	EA.
17	ROOF RAFTER	100	EA.
18	ROOF GIRD	100	EA.
19	ROOF HANGING	100	EA.
20	ROOF COLLAR	100	EA.
21	ROOF BRACKET	100	EA.
22	ROOF HITCH	100	EA.
23	ROOF KNUCKLE	100	EA.
24	ROOF PLATE	100	EA.
25	ROOF END PLATE	100	EA.
26	ROOF CHAIR	100	EA.
27	ROOF BRACE	100	EA.
28	ROOF JOIST	100	EA.
29	ROOF RAFTER	100	EA.
30	ROOF GIRD	100	EA.
31	ROOF HANGING	100	EA.
32	ROOF COLLAR	100	EA.
33	ROOF BRACKET	100	EA.
34	ROOF HITCH	100	EA.
35	ROOF KNUCKLE	100	EA.
36	ROOF PLATE	100	EA.
37	ROOF END PLATE	100	EA.
38	ROOF CHAIR	100	EA.
39	ROOF BRACE	100	EA.
40	ROOF JOIST	100	EA.
41	ROOF RAFTER	100	EA.
42	ROOF GIRD	100	EA.
43	ROOF HANGING	100	EA.
44	ROOF COLLAR	100	EA.
45	ROOF BRACKET	100	EA.
46	ROOF HITCH	100	EA.
47	ROOF KNUCKLE	100	EA.
48	ROOF PLATE	100	EA.
49	ROOF END PLATE	100	EA.
50	ROOF CHAIR	100	EA.



SCALE: 1/4" = 1'-0"

PLAN 9C - CRAFTSMAN

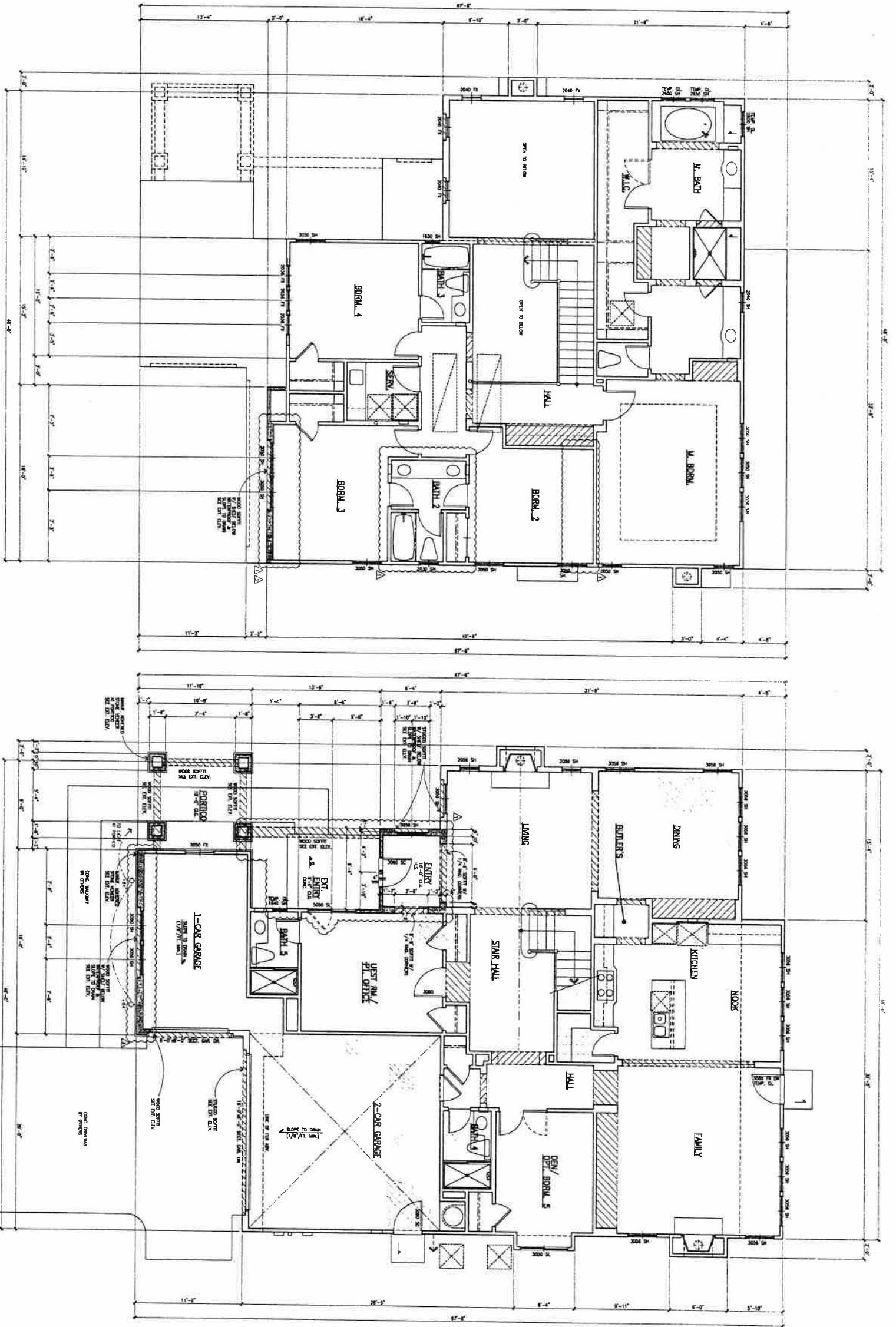
NO.	DATE	DESCRIPTION
1	4-29-04	CLIENT REV. - CRAFTSMAN
2	4-29-04	CLIENT REV. - CRAFTSMAN
3	4-29-04	CLIENT REV. - CRAFTSMAN
4	4-29-04	CLIENT REV. - CRAFTSMAN
5	4-29-04	CLIENT REV. - CRAFTSMAN
6	4-29-04	CLIENT REV. - CRAFTSMAN
7	4-29-04	CLIENT REV. - CRAFTSMAN
8	4-29-04	CLIENT REV. - CRAFTSMAN
9	4-29-04	CLIENT REV. - CRAFTSMAN
10	4-29-04	CLIENT REV. - CRAFTSMAN

HIGHLANDS
SIMI VALLEY, CALIFORNIA
D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits B16

TRACT #5182
S.F.D.

WILLIAM HEMALCH
ARCHITECTS INC.
3000 WILSON AVENUE SUITE 200
VAN NUYS, CA 91411
TEL: 818.708.1234
FAX: 818.708.1235
WWW.WHARCHITECTS.COM



UPPER FLOOR PLAN

LOWER FLOOR PLAN

PLAN 9C - CRAFTSMAN

ADDENDA FLOOR PLANS - PLAN 9C - CRAFTSMAN

NOTE: SHROUD WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CASE PLAN SHEET A9.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	3-22-04	CLIENT REV. "CORRECTIONS"

NO.	DATE	DESCRIPTION
1	3-22-04	CLIENT REV. "CORRECTIONS"

PROJECT NUMBER	SCALE
218	1/4"

HIGHLANDS
SIMI VALLEY, CALIFORNIA

D.R. HORTON
VALENCIA, CALIFORNIA

City of Simi Valley
Environmental Services Department
May 28, 2004
Case No. PD-S-940 ADJ #1
PD-S-941 ADJ #1 (HIGHLANDS)
Exhibits F8

TRACT #5182
S.F.D.

WILLIAM HEMMALACH
ARCHITECTS, INC.
28000 HIGHLAND DRIVE, SUITE 200, SIMI VALLEY, CA 91381
TEL: (805) 709-1100 FAX: (805) 709-1101
WWW.HEMMALACHARCHITECTS.COM

CITY OF SIMI VALLEY



2929 Tapo Canyon Road, Simi Valley, CA 93063-2199 • (805) 583-6700 • <http://www.simivalley.org>

July 22, 2004

D.R. Horton, Inc.
Attn: Mike Hoolihan
28009 Smyth Drive
Valencia, CA 91355

SUBJECT: PLANNING PROCESS SUBSEQUENT TO PROJECT APPROVAL OF PD-S-939 ADJ-1, PD-S-940 ADJ-1, AND PD-S-941 ADJ-1


Dear Mr. Hoolihan:

The above application was approved by the Zoning Administrator on July ~~22~~¹³, 2004. The Certificate of Adjustment Approval is attached. The next step is to record T5182C-2 and obtain a Zoning Clearance for construction of your first group of homes. Prior to the City's issuance of a Zoning Clearance, the property owner (or agent with power of attorney) will need to sign and return the attached Affidavit.

Note that this decision is subject to appeal to the Planning Commission within fourteen (14) calendar days from July ~~22~~¹³, 2004. Should you choose to submit building plans or undertake improvements during the appeal period, you would be doing so at some potential risk.

If you have any questions or require further assistance, please call me at (805) 583-6869.

Sincerely,


Lorri Hammer, Senior Planner
Department of Environmental Services

Attachment: Certificate of Adjustment Approval

cc: City Council
Planning Commission
City Manager
Case File
Recording Secretary

CITY OF SIMI VALLEY

DEPARTMENT OF ENVIRONMENTAL SERVICES ADMINISTRATIVE STAFF REPORT

CASE NOS.: ADJ-1 to PD-S-939, PD-S-940, and PD-S-941

DATE: July 13, 2004

STAFF CONTACT:

Lorri Hammer, Senior Planner
(805) 583-6869

REQUEST:

Various interior and exterior changes to floor plans and elevations in Villages E, G, and H of Sand Canyon (Big Sky).

STAFF RECOMMENDATION:

Approve the Certificate of Approval, subject to the attached conditions.

APPLICANT:

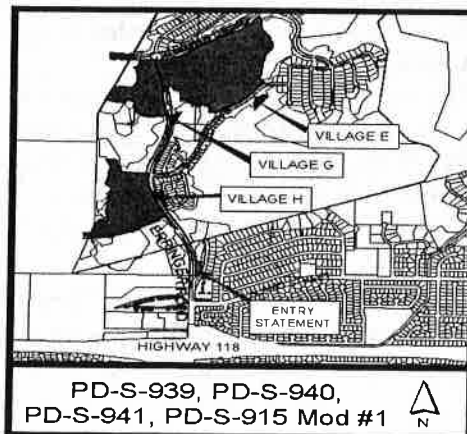
D.R. Horton, Inc.
28009 Smyth Drive
Valencia, CA 91355
Attn: Mike Hoolihan
(661) 257-3399

GENERAL PLAN/ZONING:

Village E: Residential Moderate/RMod(3.02)
Village G: Residential Moderate/RMod(3.50)
Village H: Residential Medium/RM(3.12)

LOCATION:

Village E, G, and H of T5182-C located at the northerly terminus of Erringer Road.



I. ISSUES

There are no outstanding issues.

II. PUBLIC NOTICE

The Director of Environmental Services has determined that the Adjustment does not substantially affect any property rights of others. Therefore, pursuant to SVMC Section 9-1.1103(i)(3)(iii), the application does not require a Public Notice or hearing.

III. PROJECT DESCRIPTION/CONSISTENCY WITH DESIGN GUIDELINES

Applicant is requesting approval of minor architectural changes including floorplans, and elevations of some products in Villages E (PD-S-939), G (PD-S-940), and H (PD-S-941) located in Sand Canyon (Big Sky, T5182-C/PD-S-915). These changes do not change the footprint, and change less than 10% of the floor plans and/or elevations as shown on the Exhibits and summarized as follows:

Village	Plan	Proposed Revision
E-Plum Creek	1	Decrease Family Room window size on rear elevation from 3'x5.5' to 2.5'x5.5'
	3	Change rear elevation to omit bay at Bedroom 5
	1-3	Revise color schemes for garage doors B-7A, B-7B, and B-8 (trim) from shades of eggshell and beige to grey-green and brown.
E-Walnut Grove	4	Omit window at tandem garage on right elevation
	4	Omit 2'x5' single-hung window at Bedroom 2 on the left elevation
	5	Adjust window on Bath 2 to reflect correct window size on right elevation
	5	Omit window at Master Bedroom on left elevation
	4-6	Revise color schemes for garage doors A-22, A-23, B-27, and B-28 (trim) from shades of eggshell and white to shades of grey-green and brown
	7	Adjust windows at Dining Room and add a new 3'x5.5' single hung window
G/H - Highlands	7	Relocate window at the Nook from left elevation to right elevation at bay as seen from the rear elevation
	7	Relocate the door at the Nook to the Family Room as seen from the rear elevation
	8	Addition of two 3'x5.5' single hung windows on left elevation for light
	8	Add a 2'x5' single-hung window to Bedroom 2 as shown on the left elevation
	9	Refine entry to provide a rounded Turret at the French Country and Spanish Colonial elevations.
	9	Increase window size where media unit was adjacent to the fireplace
	9	Center fireplace on the wall resulting in minor exterior change
	9	Revise Master Bath window at rear elevation
	7-9	Revise color schemes for garage doors on A-33, A-313, B-37, and B-38 from light beige and white to brown and grey-green

These changes are consistent with the Whiteface Specific Plan Architectural Design Standards (pages 26-31) in that they further refine the approved product, add windows to increase the availability of natural light and passive solar heating/cooling, decrease window

sizes to reduce privacy conflicts, and continue to have the same level of architectural detailing on all sides as found on the front elevations.

IV. ANALYSIS

In order to grant an adjustment to a Planned Development Permit, it must be found that the proposed changes are consistent with the findings in SVMC 9-1-1103(i)(6).

1. The Adjustment does not significantly change building materials, colors, elevations, floor plan design of the building(s) and is consistent with the design of the project, in that no changes to materials are proposed. New garage door colors of Western Reserve, Estate Tan, Baby's Breath, Chenille, Tequila, and 4 custom unnamed colors (all brown, grey-brown, or grey-green medium earth tones) are proposed because the approved colors of Wild Country, Cowboy, Moose Pointe, Onion Skin, Stone Quarry, Sweetwood, Backpack (all white to beige light earth tones) have become unavailable from the applicant's manufacturer. Although darker, the proposed colors reflect their marketing desires for the neighborhood, are within the same earthtone color palate previously approved, and are within those anticipated within the Specific Plan area (WFSP pages 26-31).

The applicant's Marketing Department has also made changes to the windows that alter window size and locations as indicated in the table above. The proposed windows and window changes are consistent with the approved project design and with Exhibits 15-18 of the Specific Plan, as they will match the approved vertical window proportions (i.e., 2'x5', 3'x5') and window mullion for each elevation style as shown on the revised elevations. In addition, a minimum of one window on each side and rear elevation will continue to include the shutter or trim detailing consistent with the front elevations.

The applicant proposes minor changes to the turret element and the fireplace location, as shown on the floor plans and elevations, to make the plans more structurally sound. These changes result in an increase in turret height by 2 feet (to a total of 28 feet), remaining less than the maximum height of 32 feet. These fireplace changes are consistent with the approved project in that fireplace enhancements (chimney cap) are unchanged. None of the other interior or exterior changes affects the building footprint.

2. The Adjustment does not substantially alter any of the imposed conditions of approval in that the existing conditions are unchanged. None of the changes represent a different style of architecture or a change to the footprint, plotting, or setbacks.
3. The Adjustment is consistent with the Simi Valley General Plan or appropriate specific plan and zoning ordinances in that the General Plan designates the project site as Residential Medium and Residential Moderate. The Villages remain consistent with the General Plan in that these sites continue the same land use

designations and are a part of the Big Sky Ranch (Whiteface Specific Plan), as identified in General Plan Appendix B. Appendix B also indicates that the City should "...assure access to areas of public recreation and to preserve areas with outstanding natural features." The proposed architectural changes do not affect the project's trails, recreation area, or dedicated public open space, thus preserving these areas and access to them.

The proposed architectural changes are consistent with the Whiteface Specific Plan in that they do not change the approved architectural styles (i.e., vertical window shape) and are within the approved earthtone color palette (Specific Plan pages 26-31 and Exhibits 15-18) as outlined in Finding No. 1.

4. The Adjustment is consistent with the Simi Valley Zoning Ordinance. The proposed design revisions are consistent with the following subsections of SVMC 9-1.1103(i)(4), which allow:
 - (i) A minor reconfiguration of an architectural feature which does not modify the previously approved theme or plan for an approved project.
 - (ii) Color and material board changes that are generally consistent with the original approval.

No changes to any setbacks, parking, building height, etc. are proposed. The Whiteface Specific Plan governs these standards and the architectural designs of the homes. The project continues to be consistent with these requirements as outlined in Findings 1-3. The changes to the garage door colors continue to implement colors already approved within these villages and increase the variability in the proposed color palates.

V. ENVIRONMENTAL REVIEW AND CEQA REQUIREMENTS

Pursuant to Section 15301 of the California Environmental Quality Act (CEQA) Guidelines, changes to floorplans, elevations, and architectural elements for residences in Sand Canyon Villages E (PD-S-939), G (PD-S-940), and H (PD-S-941) are exempt from CEQA.

Class 1 exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized in the exemption are not intended to be all inclusive of the types of projects which might fall within Class 1. The key consideration is whether the project involves negligible or no expansion of an existing use.

The proposed alterations to floorplans, elevations, and architectural elements are negligible changes to the uses approved for Sand Canyon. Based on this determination and pursuant to Section 15062, a Notice of Exemption has been prepared and is attached to the staff report.

CERTIFICATE OF ADMINISTRATIVE APPROVAL

A DECISION OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES/PLANNING DIVISION OF THE CITY OF SIMI VALLEY, APPROVING PD-S-939 ADJ-1, PD-S-940 ADJ-1, AND PD-S-941 ADJ-1

WHEREAS, pursuant to the provisions of Section 9-1.1101 et seq. of the Simi Valley Municipal Code, the applicant, D.R. Horton, Inc., has requested approval of an Adjustment to Planned Development Permit Nos. PD-S-939 ADJ-1, PD-S-940 ADJ-1, and PD-S-941 ADJ-1 for the certain sites located in Villages E, G, and H of Big Sky (Sand Canyon, T5182-C/PD-S-915) at the northerly terminus of Erringer Road, for the purpose of minor interior and exterior architectural changes.

WHEREAS. Pursuant to the provisions of Section 15301 of the California Environmental Quality Act, the project qualifies as Categorical Exempt and a Notice of Exemption was prepared.

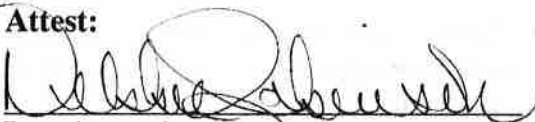
SECTION 1. The findings contained in the staff report dated July 13, 2004, and incorporated herein by reference are hereby adopted.

SECTION 2. Application File Nos. PD-S-939 ADJ-1, PD-S-940 ADJ-1, and PD-S-941 ADJ-1 are hereby approved, subject to compliance with all the conditions in the staff report dated July 13, 2004, attached hereto as Exhibit "A".

SECTION 3. The time within which judicial review must be sought for administrative decisions is governed by California Code of Civil Procedure Section 1094.6.

PASSED and ADOPTED this 13th day of July, 2004.

Attest:


Debbie Robinson
Recording Secretary

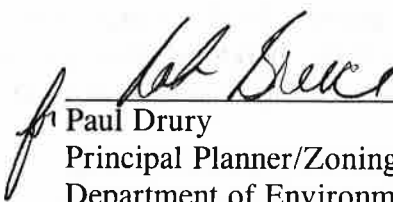

Paul Drury
Principal Planner/Zoning Administrator
Department of Environmental Services

EXHIBIT A

CASE NUMBER: PD-S-939 ADJ-1, PD-S-940 ADJ-1, PD-S-941 ADJ-1
NAME OF APPLICANT: D.R. HORTON, INC.

CONDITIONS

The conditions marked with an asterisk (*) are Special Conditions applicable specifically to this project. In the event of a conflict between the provision(s) of a Standard Condition and a Special Condition, the provision(s) of the Special Condition will take precedence. These conditions of approval supersede any conflicting notations, specifications, dimensions, and typical sections which may be shown on a development plan or exhibit. Unless otherwise stated, all conditions of approval must be complied with prior to the issuance of a Zoning Clearance. Applicant must assume all costs incurred in complying with the conditions contained herein. All facilities and uses other than those specifically approved by the approving authority are prohibited. In consideration of the benefits conferred by this Permit, Applicant, on behalf of him/herself, intending to be bound hereby for the life of this permit, consents to City Personnel entering the Project property during daylight hours without a warrant, and with written notice, to verify compliance with the terms and conditions of this Permit. "Applicant" or "Developer" or "Owner" as used in these conditions means all applicants, developers, permittees, and all owners of the subject property and all successors and assigns thereto. These conditions are deemed to touch and concern the real property, which is the subject hereof and run with the land and compliance with these conditions must be maintained for the life of the permit. The Simi Valley Municipal Code (SVMC) contains penalty provisions for the violation of development conditions which could result in any available administrative, civil, or criminal remedies which could include one or more of the following: 1) revocation of the development permit; or 2) penalties of up to \$1,000 in fines and/or six months in jail for each day of violation; and 3) the prohibition of further violations through court injunction. Applicant must comply with all of the conditions.

1. This permit is granted for all the improvements which must be as shown on the application and any attachments thereto as submitted and depicted on exhibits specifically labeled as Exhibits: Full (reduced), and Garage Color Revisions M (Rev., Color).
2. Prior to issuance of a Building Permit, Applicant must obtain a Zoning Clearance in accordance with Section 9-1.1103 of the Simi Valley Municipal Code.
3. The adjustment expires on July 13, 200~~6~~, one year from the date of approval, unless the project has been use inaugurated or a written request for an extension of time has been submitted by Applicant prior to the expiration date and granted by the City.
4. When exhibits and written conditions are in conflict, the written conditions prevail.
5. All conditions of PD-S-939, PD-S-940, PD-S-941, and PD-S-915 Mod #1 contained in City of Simi Valley Planning Commission Resolution No. SVPC 14-2003 apply to this Adjustment.
6. During the lifetime of the permit, Applicant must comply with all applicable laws and regulations of every local, state, and federal entity and all such requirements and

CASE NUMBER: PD-S-939 ADJ-1, PD-S-940 ADJ-1, PD-S-941 ADJ-1
NAME OF APPLICANT: D.R. HORTON, INC.

enactments must be incorporated by reference as conditions of this permit. The duty of inquiry as to such requirements and any amendments thereto will be upon Applicant and his or her transferees or successor in interest.

7. Applicant must defend, indemnify, and hold harmless the City, its agents, officials, and employees from any claim, action, or proceeding against the City or its agents, officials, or employees in any action to attack, set aside, void, or annul the approval of this permit. The City must promptly notify Applicant of any claim, action, or proceeding and the City must cooperate fully in the defense. Further, the City will select the attorneys who will defend such proceeding and control any litigation thereof.

END OF ALL CONDITIONS

AFFIDAVIT

I, _____, with Power of Attorney for all property owners do hereby declare under penalty of perjury that I have a Power of Attorney on behalf of all property owners of the subject application and that all property owners accept all conditions imposed by the Zoning Administrator in their approval of the proposed Adjustments to PD-S-939, PD-S-940, and PD-S-941. All of the property owners agree to comply with these conditions and all other applicable laws and regulations that affect this project.

Agent with Power of Attorney for all property owners

Date

NOTICE OF EXEMPTION

To: Clerk of the Board
County of Ventura
800 S. Victoria Avenue
Ventura, CA 93001

From: City of Simi Valley
2929 Tapo Canyon Road
Simi Valley, CA 93063

Project Title: PD-S-939,-940,-941, ADJ 1

Project Location - Specific: The project is located in Tract 5182-C-2, Village G and H, Big Sky Ranch, APN 615-0-160-400, 420 and APN 615-0-130-220, 230.

Project Location - City: Simi Valley Project Location - County: Ventura

Description of Project: Change of exterior architectural elements that were previously approved.

Name of Public Agency Approving Project: City of Simi Valley

Date of Approval

Name of Person or Agency Carrying Out Project: D.R. Horton, Inc.

Exempt Status: (check one)

- Ministerial [Sec. 21080(b)(1); 15268];
- Declared Emergency [Sec. 21080(b)(3); 15269(a)];
- Emergency Project [Sec. 21080(b)(4);15269(b)(c)];
- Categorical Exemption - State type and section number Section 15301, Class 1
- Statutory Exemptions - State code number _____
- General Rule [Sec. 15061(b)(3)]

Text of exemption and reasons why project is exempt:

Section 15301, titled "Existing Facilities," reads as follows:

Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The types of existing facilities itemized below are not intended to be all-inclusive of the types of projects which might fall within Class 1. The key consideration is whether the project involves negligible or no expansion of an existing use.

(a) Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.

The revision to the exterior appearance of these previously approved residences involves no expansion of the approved residential use.

Lead Agency

Contact Person: Lorri Hammer Area Code/Telephone (805) 583-6869

Signature: Lauren Funaiole Date: _____ Title: Senior Planner
Dept. of Environmental Services

Signed by Lead Agency